



HPAC Committee Agenda

Note: Anyone wishing to speak at any HPAC meeting is encouraged to do so. If you wish to speak, please rise and, after you have been recognized by the Chair, give your name and complete address for the record. You will then be allowed to speak. Please note the public testimony may be limited by the Chair. **Times noted for each item are approximate...**

September 2, 2026

AGENDA

(4:00) CALL TO ORDER: The meeting will be held in person and via Zoom.

Join Zoom Meeting: <https://zoom.us/j/97399945524?pwd=EN5oSjNMcJQAYkGQbjuNuyY3lhngSG.1>

Meeting ID: 973 9994 5524

Passcode: 198559

READING OF LAND ACKNOWLEDGEMENT

"We acknowledge and honor the aboriginal people on whose ancestral homelands we live, — the Ikirakutsum Band of the Shasta Nation, including the original past indigenous inhabitants, as well as the diverse Native communities who make their home here today. We also recognize and acknowledge the Shasta village of K'wakhakha — "Where the Crow lights"—that is now the Ashland City Plaza."

I. APPROVAL OF AGENDA

II. APPROVAL OF MINUTES

Minutes of July 8, 2026

III. PUBLIC FORUM

IV. LIASON REPORTS

Council Liaison – Derek Sherrell

Staff Liaison – Nick Schubert

V. DISCUSSION ITEMS

A. Meeting Schedule/Plan for Remainder of the Year

B. Review Board Assignments – September 2026

VI. LAND USE APPLICATIONS

PLANNING ACTION: PA-TI-2026-00307

SUBJECT PROPERTY: 161 B Street

APPLICANT & OWNER: Patrick Tidd Construction / Pete Eggspuehler

DESCRIPTION: A request for Site Design Review approval for an interior & exterior remodel including an exterior stairwell and façade changes at the existing multifamily residential buildings (Steve H. Royal Rentals) on site.



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COMPREHENSIVE PLAN DESIGNATION: Multi-Family Residential; ZONING: R-2;

MAP: 39-1E-09-BA; TAX LOT: 12900

VII. REVIEW BOARD ITEMS

None.

VIII. ADJOURNMENT



HPAC Committee Minutes

Note: Anyone who wishes to speak at any HPAC meeting is encouraged to do so. If you wish to speak, please rise and, after you have been recognized by the Chair, give your name and complete address for the record. You will then be allowed to speak. Please note the public testimony may be limited by the Chair. **Times noted for each item are approximate...**

July 8, 2026

Minutes

CALL TO ORDER: Chair Prest called the meeting to order at 4:00 p.m. Committee members Prest, Repp, Whitford, Emery and Costella were present, along with Planning Commission liaison Verner, Community Development staff liaison Nick Schubert, and Planning Supervisor Derek Severson. Council liaison Derek Sherrell was absent.

READING OF LAND ACKNOWLEDGEMENT

Prest read the land acknowledgement.

APPROVAL OF AGENDA

No changes were made to the agenda.

APPROVAL OF MINUTES

Emery/Costella m/s to approve the minutes of June 3, 2026, as presented. Voice vote: Prest, Repp, Whitford, Emery and Costella, All AYES. Motion passed.

PUBLIC FORUM

Peter Finkle-Playwrights Walk

Peter Finkle discussed details of the Playwrights Walk stating that there will be 100 plaques for OSF by 2035 to help with establishing the theme of Ashland as a 'Theatre & Cultural Town' as approved by city council. Three (3) plaques have already been installed, with 10-12 more being made at Jack Langford's bronze foundry in Talent. HPAC has been involved with 5 of the bronze plaques so far.

LIASON REPORTS

Council Liaison Derek Sherrell was absent.

Planning Liaison Nick Schubert provided a brief staff update, noting that the city had an open house on July 22nd for the ribbon cutting / opening at the Ashland Community Center.

Planning Supervisor Severson also reminded HPAC members of a pending Demolition/Relocation review hearing at 263 Oak Street, which is a contributing resource (and was brought up at the June meeting). He explained that while the house presented as being in relatively good condition from the street, the application materials included an inspection report noting a number of substantive issues with the foundation and electrical, mechanical and plumbing systems, and evidence of a prior fire that had never been fully addressed. The cost of these repairs was used as the basis to assert that



HPAC Committee Minutes

economically beneficial reuse of the historic structure was not feasible. The demolition hearing was for July 14th at 3:30 pm.

State Historic Preservation Office Check-In

Staff Supervisor Severson & staff liaison Schubert discussed the State Preservation Office (GLC) check-in with the city of Ashland this week. It was noted that GLC can potentially help the city & HPAC with training and other materials as needed including a potential speaker series, preservation grants, story maps or an updated historic survey (last one was done in 2006). GLC also noted that the check-in was positive and continued support will be present in the coming years.

Meeting Schedule/Plan for Remainder of the Year

Staff discussed upcoming changes, including that:

- Schubert has taken over the role of Staff Liaison moving forward.
- Severson will continue to attend meetings and provide support as time permits.
- There are ongoing discussions between city administration and committee members & staff liaisons about the changes from monthly to quarterly noting that the city may alter the meeting schedule to be bi-monthly...more to come.
- Discussion as to how changes won't affect subcommittee meetings.
- There was discussion of trying to incorporate some training for members in the design standards and how to apply them as a recurring item on each agenda.
- The **October 7th** regular meeting would need to be dedicated to developing a workplan, which would by necessity be reduced given the quarterly schedule.
- Accomplishments of the past year and work plans for the coming year will be presented to the City Council at a **December 14th** Council Study Session/Committee Appreciation Event & Council Work Plan Discussion. Staff stressed the need to get this done beforehand.
- Continued discussion on the need to reach out by January-February of 2027 for promotion for Historic Week and to have an idea of what events will look like including tombstone tales and the potential to set up something with the S.O. Historical Society.
- Staff liaisons also had discussion with committee about potentially setting up speakers or a speaker panel to discuss the history of HPAC and design standards, trainings.

Review Board Assignments

- **July 23, 2026** – *Prest, Whitford (+/-)*
- **August 5, 2026** – *Prest, Emory (+/-)*
- **August 20, 2026** – *Whitford, Emory (+/-)*



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LAND USE APPLICATIONS

PLANNING ACTION: PA-TI-2026-00303

SUBJECT PROPERTY: 624 A Street

APPLICANT & OWNER: Justin Hymas / Banyan Depot LLC

DESCRIPTION: A request for Commercial Site Design Review approval for an additional exterior window and façade at the existing historic Ashland Depot Hotel South Wing building.

COMPREHENSIVE PLAN DESIGNATION: Employment; **ZONING:** E-1;

MAP: 39-1E-09-AB; **TAX LOT:** 4900

The applicant was not present to discuss further details. Staff liaison Schubert explained the request and presented images from the application materials.

Prest indicated that he appreciated that it preserved the existing façade and fit with what was existing. Whitford concurred and indicated that the project as presented looked good and kept appropriate design choices to match the existing historic depot building.

Whitford/Costella m/s to recommend approval of the project as presented. Roll call vote: All AYES, Motion passed.

REVIEW BOARD ITEMS

95 Winburn Way/Ashland Parks Foundation

Pre-App Review for Permanent Covering for the Ice Rink

Staff liaison Schubert briefly explained the request and previous pre-app discussion with the applicant and presented images from the pre-application submittal materials.

In reviewing the pre-application materials, HPAC Review Board noted:

- HPAC members found the proposal to be an improvement over the original temporary/existing ice rink covering noting that it was congruent with the contemporary look of the adjacent residential house at 85 Winburn while also incorporating historic elements of the park and public art with potential street crossing art.
- Members also noted that the architecture is not offensive and is in fact adaptive to the use and speaks to the neighborhood as a more active use than just a parking garage, noting that it is a significant resource to the community.

65 Fourth Street

Residential Building Permit for a porch addition and window enlargement

Staff liaison Schubert summarized the request and presented images from the submittal materials.

- HPAC members noted that this was a fine improvement and had no objections to the



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proposal, noting/recommending that the applicant match the existing double-hung window.

ADJOURNMENT

The meeting was adjourned at 05:03 p.m.



ADMINISTRATION

Sabrina Cotta, City Manager

August 14th, 2026

To: Public Art Advisory Committee
Social Equity and Racial Justice Advisory Committee
Historic Preservation Advisory Committee
Transportation Advisory Committee
Housing and Human Services Committee
Climate and Environment Policy Advisory Committee

From: Sabrina Cotta, City Manager

Dear Committees,

Thank you for your continued service and dedication to the Ashland community and the City of Ashland. There have been some adjustments to how committees will operate moving forward.

- 1) Committees will continue their monthly schedule
- 2) Committees will focus their efforts on the workplan as outlined by the City Council annually.
- 3) Chairs will be responsible for producing the agenda and getting it to the staff liaison **10 days** in advance of the meeting to create in Civic Clerk.
- 4) Staff liaisons will be given a zoom account to record all committee meetings starting September 1st, 2026.
- 5) Staff liaisons will be responsible for uploading these committee meetings to the City YouTube channel through the established staff process.
- 6) Staff liaisons will be responsible for producing written minutes as outlined by the City's written minutes requirements. Minutes will continue to be the official record.
- 7) Subcommittees will only be created to further the workplan as outlined by the City Council.
- 8) If a subcommittee is created, meetings of the subcommittee require the presence of a staff liaison, must follow public meeting law, and must be video recorded and made available to the public per the established staff process.
- 9) Working groups may be formed with less than a quorum of committee members for the purpose of fact gathering only. Working groups cannot provide recommendations to the full committee.

Thank you,

ADMINISTRATION

20 East Main Street
Ashland, Oregon 97520
ashland.or.us

Tel: 541.488.6002
Fax: 541.488.5311

sabrina.cotta@ashland.or.us





September 2026

HPAC Review Board

Meet at 3:00pm in the Lithia Room

Every other week

***** Staff to email if there is anything to review on the off weeks*****

<u>DATE</u>	<u>COMMITTEE MEMBERS ATTENDING</u>		
September 2nd	Review Board at Regular Meeting		
September 17th	TBD		

*Call 541-488-5305 to verify there are items on the agenda to review



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # _____

DESCRIPTION OF PROJECT Remodel to 3 Unit apartment complex.

DESCRIPTION OF PROPERTY

Pursuing LEED® Certification? ☐ YES ☒ NO

Street Address 161 B Street

Assessor's Map No. 39 1E 09 BA Tax Lot(s) 12900

Zoning R-2

Comp Plan Designation _____

APPLICANT

Name Patrick Tidd Construction Inc. Phone (510)331-3952 E-Mail patricktidd@gmail.com

Address 1070 Terra Ave City Ashland Zip 97520

PROPERTY OWNER

Name Pete Eggspuehler Phone (503)349-2719 E-Mail eggspuehler@gmail.com

Address 7729 E Avalon Drive City Scottsdale, AZ Zip 85251

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title Designer Name De'zin LLC Phone (503)917-0267 E-Mail inquiries@dezinfinehomes.com

Address 170 Harrison Street City Ashland Zip 97520

Title Engineer Name Kas and Associates Engineering INC. Phone (541)772-5807 E-Mail kas@kasinc.com

Address 304 S Holly Street City Medford Zip 97501

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence at the hearing to support this request;
- 2) that the findings of fact furnished justifies the granting of the request;
- 3) that the findings of fact furnished by me are adequate; and further
- 4) that all structures or improvements are properly located on the ground.

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

DocuSigned by
patrick tidd

7/29/2026

Applicant's Signature

Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

DocuSigned by:

[Signature]

7/29/2026

Property Owner's Signature (required)

Date

[To be completed by City Staff]

Date Received _____ Zoning Permit Type _____ Filing Fee \$ _____

OVER ►►

MEMORANDUM & WRITTEN FINDINGS OF FACT

DATE: August 14, 2026

TO: City of Ashland Planning Division

FROM: Applicant / Property Representative

SUBJECT: Comprehensive Site Data, MPFA, Lot Coverage, & Site Design Findings

PLANNING ACTION REF: PA-T1-2026-00307

PROPERTY ADDRESS: 161 B Street, Ashland, OR 97520

ZONING / OVERLAY: R-2 / Railroad Historic District Overlay

HISTORIC STATUS: ID #33.0 (Steve H. Royle Rentals - Compatible / Non-Historic / Non-Contributing)

1. PURPOSE & PROJECT OVERVIEW

This document provides written findings of fact and detailed numerical supplements to clarify compliance with **AMC 18.2.5.070 (MPFA)**, **AMC 18.2.5.030 (Lot Coverage)**, and **AMC 18.4 (Site Design & Historic Standards)** for Planning Action PA-T1-2026-00307.

The proposed scope of work includes:

1. Infilling interior stairwell voids on Level 1 (+27.63 s.f.) and Level 2 (+39.43 s.f.) to recover usable interior floor plate area.
2. Decommissioning Level 3 living space to **Unconditioned Attic Storage** accessed strictly via a pull-down attic ladder, reducing Level 3 Gross Floor Area from 191.40 s.f. to 0.00 s.f.

3. Constructing an exterior access stairwell (approx. 6.66 s.f. footprint) and upper balcony deck situated directly over an existing ground-floor concrete porch to replace the existing corrugated awning.
4. Maintaining all existing off-street parking and site open space.

2. DENSITY & LEGAL NON-CONFORMING USE FINDINGS (AMC 18.2.5.030)

The subject property is located in the R-2 Multi-Family Residential Zoning district with a base density of 13.5 dwelling units per acre. For the 5,008.22 s.f. (0.11 acre) site, base density equates to 1.485 dwelling units (0.11 acres × 13.5 du/acre).

The property is currently developed with three (3) existing residential units (Building 1 single-family dwelling and Building 2 duplex), establishing a legal non-conforming density status. The proposed interior alterations and exterior circulation additions do not create any new dwelling units or expand the existing residential unit count, fully preserving the current legal non-conforming density status without modification.

3. MPFA & GROSS FLOOR AREA ANALYSIS (AMC 18.2.5.070)

Pursuant to **AMC 18.2.5.070** and **ORSC Section R305** guidelines, gross floor area (GFA) calculations evaluate all finished, heated interior spaces with compliant ceiling heights (≥ 5 ft.).

Existing 3rd Level Habitable Baseline (Sheet 3 Data)

As documented on Sheet 3 (3RD LEVEL AS BUILT), the existing 3rd level currently contains 191.40 s.f. of legal, ORSC R305-compliant habitable floor area. Per ORSC R305, habitable space under sloped ceilings is defined by areas maintaining a minimum vertical headroom of 5 feet or greater. Bounded by the 5 ft. headroom threshold (denoted by red dashed lines on Sheet 3), this area is calculated as follows:

- **Entry Area (Center):** 49.5 s.f.
- **West Bay/Dormer Area:** 66.80 s.f.

- **East Bay/Dormer Area:** 75.10 s.f.
- **Total Existing 3rd Level Habitable Floor Area:** 191.40 s.f.

Gross Floor Area (GFA) Summary Table

Building Level / Unit	Existing GFA	Proposed GFA	Net Area Change
Building 1 (Front Unit - Footprint/Heated)	918.00 s.f.	918.00 s.f.	0.00 s.f.
Building 2 - Level 1 (Unit 1)	698.09 s.f.	725.72 s.f.	+27.63 s.f.(Stair infill)
Building 2 - Level 1 (Laundry)	51.91 s.f.	51.91 s.f.	0.00 s.f.
Building 2 - Level 2 (Unit 2)	560.00 s.f.	599.43 s.f.	+39.43 s.f.(Stair infill)
Building 2 - Level 3 (Unit 2)	191.40 s.f.	0.00 s.f.	−191.40 s.f.(Decommissioned)
TOTAL SITE GROSS FLOOR AREA	2,419.70 s.f.	2,295.06 s.f.	−124.64 s.f.(NET REDUCTION)

CUP Exemption Findings

1. **Total Site Floor Area Reduction:** While infilling the interior stairwell void adds +67.06 s.f. across Level 1 and Level 2, decommissioning Level 3 to unconditioned attic storage removes −191.40 s.f. This yields an overall **net reduction of −124.64 s.f.** in total site gross floor area.
2. **No Envelope Expansion:** The proposed work occurs entirely within the existing building shell (0.00 s.f. footprint expansion).
3. **CUP Status:** Because total site GFA decreases and building footprint remains unchanged, the project complies with **AMC 18.2.5.070** and a **Conditional Use Permit (CUP)** is **NOT** required.

4. LOT COVERAGE ANALYSIS (AMC 18.2.5.030)

Coverage Category	Existing Footprint	Proposed Footprint	% of 5,008.22 sf Lot	R-2 Limit
	PDF	PDF	PDF	PDF
Building Footprints (Bldg 1 & 2)	1,668.00 s.f.	1,668.00 s.f.	33.31%	—
Walkways & Porches	156.00 s.f.	156.00 s.f.	3.11%	—
Driveway & Parking Areas	1,569.17 s.f.	1,569.17 s.f.	31.33%	—
TOTAL IMPERVIOUS COVERAGE	3,393.17 s.f.	3,393.17 s.f.	67.75%(Unchanged)	65.0%Max
Permeable Landscaping / Open Space	1,615.05 s.f.	1,615.05 s.f.	32.25%(Unchanged)	35.0%Min

Footprint Clarifications:

- **Level 2 Upper Deck / Balcony:** Replaces the existing corrugated awning directly over an existing raised concrete porch on Level 1, contributing 0.00 s.f. of new ground-level footprint.
- **New Exterior Stair:** Occupies an exterior ground footprint of approximately 6.66 s.f., accommodated entirely within existing hardscape/circulation envelope.
- **Existing Non-Conformity:** Legally non-conforming lot coverage (67.75%) remains unchanged. Per city rules, no site coverage modifications are required.

5. SITE DESIGN REVIEW & HISTORIC STANDARDS (AMC 18.4.2 & 18.4.2.050)

1. Building Placement & Orientation (AMC 18.4.2.030):

The exterior stairwell and balcony improve functional circulation for Unit 2 without altering primary building placement, site entrance patterns, or adjacent building separations.

2. Railroad Historic District Design Compatibility (AMC 18.4.2.050):

The property sits within the Railroad Historic District Overlay. Comprehensive architectural details—including the LP SmartSide lap siding, 4-inch trim casing, 6-inch-deep CMU window reveals, and screened West elevation utility meter placement—are detailed in the attached standalone document titled "**161 B Street HPAC Narrative (AMC 18.4.2.050 Review)**".

3. Landscaping & Screening (AMC 18.4.4):

Landscaped perimeter screening adjacent to residential quarters remains undisturbed.

4. Trash & Recycling Facilities:

Collection containers for all three units remain situated in the screened service area adjacent to Building 1, fully screened from B Street view by existing fencing and mature hedging, compliant with Recology servicing needs.

5. Tree Preservation (AMC 18.4.5):

No trees $\geq$ 6 inches DBH on or within 15 feet of property boundaries will be removed or impacted by construction activity.

6. PEDESTRIAN ACCESS AND CIRCULATION FINDINGS (AMC 18.4.3.090)

Safe, direct, and convenient pedestrian connectivity is provided across the site as demonstrated on Sheet A1.0 (Site Plan). Existing paved concrete walkways provide an unobstructed, continuous pedestrian route from the B Street public sidewalk directly to the primary entrances of Building 1 and Building 2, as well as the off-street parking area. The new exterior stairwell directly connects Level 2 of Building 2 to this established ground-level walkway network without requiring circulation through parking bays or vehicular drive aisles.

7. PARKING AND VEHICULAR ACCESS FINDINGS (AMC 18.4.3.080)

1. Elimination of Parking Minimums:

Pursuant to updated City of Ashland Land Use Ordinance standards and state housing statutes, minimum off-street vehicle parking space requirements have been eliminated for residential development (0 spaces required).

2. Existing Parking Preservation & ADA Site Infeasibility:

The property contains an existing 1,569.17 s.f. paved off-street parking area serving Building 1 and Building 2. Due to the historical site configuration and narrow lot geometry (0.11 acres), designating a fully compliant ADA parking stall with a 5-foot striped access aisle and vehicle turnaround area would consume the entirety of the usable driveway and eliminate all remaining off-street parking for residents.

3. Exemption Findings:

Because off-street parking minimums are zero, and requiring a retrofit ADA stall creates severe physical site constraints that undermine existing residential parking capacity, the existing parking layout is maintained in its current legal non-conforming footprint (1,569.17 s.f.) without dedicated ADA striping. Furthermore, because the overall project scope involves 0.00 s.f. **of new ground-level building footprint expansion** and creates no additional dwelling units, maintaining the as-built parking layout preserves existing open space while fully satisfying AMC 18.4.3.080 and Oregon Structural Specialty Code accessibility exemption criteria for existing residential alterations.

8. CITY UTILITIES & SERVICE APPROVALS

- **Electric Department:** Electric service requirements reviewed with Rick Barton: General Foreman at the City of Ashland Electric Department on 08/18/2026. Approved schematic service plan attached to Site Plan.
- **Public Works / Water & Sewer:** Water/sewer connections utilize existing B Street infrastructure without expanding demand.
- **Fire Department:** Emergency egress and access meet ORSC and Fire Department standards via direct exterior stair routing.

APPLICATION FOR TYPE I PLANNING ACTION**HISTORIC DISTRICT DEVELOPMENT STANDARDS REVIEW (AMC 18.4.2.050)**

Property Address: 161 B Street, Ashland, OR 97520

Tax Lot: 12900 (Map 391E09AB)

Historic District: Ashland Railroad Historic District

Project Reference: PA-T1-2026-00307

Detailed Scope of Work & Code Compliance (AMC 18.4.2.050)**1. Building 1 (Primary Residential Structure — Concrete Block & Front Frame)****• South (Front / B Street Facade):**

o **Siding:** Installation of new LP SmartSide lap siding with a 7-inch exposure limited strictly to the street-facing elevation. Siding terminates at new vertical LP SmartSide corner boards.

o **Existing Openings & Casing:** Exactly 2 existing windows and 1 existing door on the South elevation are designated as "(E) Existing to Remain As-Built." New 4-inch LP SmartSide exterior trim casing with a sloped sill nose and head drip cap will be integrated around these existing openings to match the new siding profile, establishing a clean 2-inch minimum trim reveal.

• **West Elevation:** Exactly 1 existing door designated as "(E) Existing to Remain As-Built."

• New CMU Wall Openings & Recess (Code Compliance):

o Exactly 4 new window openings will be precision-cut into the existing structural concrete block walls.

- o All 4 new windows will be installed set back 6 inches from the exterior face of the CMU wall, creating a deep shadow box reveal that exceeds the 2-inch minimum requirement mandated by AMC 18.4.2.050 by 4 inches.

- **East, West, & North Elevations (Exposed CMU & Existing Siding):**

- o Structural concrete masonry units remain exposed as built ("EXISTING CONCRETE BLOCK").

- o Existing T1-11 siding and skirting remain as-built.

2. Building 2 (Secondary Residential Structure — Rear Wood Frame)

- **Driveway & Site Visibility Compliance:** Building 2 sits ~50 feet back from B Street.

All proposed alterations incorporate compliant trim casing depth and traditional proportions to satisfy AMC 18.4.2.050 standards for secondary structures.

- **Access Improvements:** Removal of the existing awning at the balcony level on the south elevation. Construction of a new upper balcony deck and exterior stair structure in its place to provide formal second-story access.

- **Window Scope Breakdown:**

- o **New Openings (East, West, South Elevations & Selected North Openings):**

All new dual-glazed windows (WinPro Series) installed with a minimum 2-inch recess measured from the outer face of surrounding 4-inch LP SmartSide trim casing to the glazing plane, satisfying AMC 18.4.2.050 reveal depth standards.

- o **North Elevation (Rear To Remain):** Exactly 2 lower-level windows and 5 upper-level windows on the North elevation are designated as "(E) Windows to Remain As-Built." These units are largely screened from public view by fencing

and trees facing the adjacent Co-op parking lot.

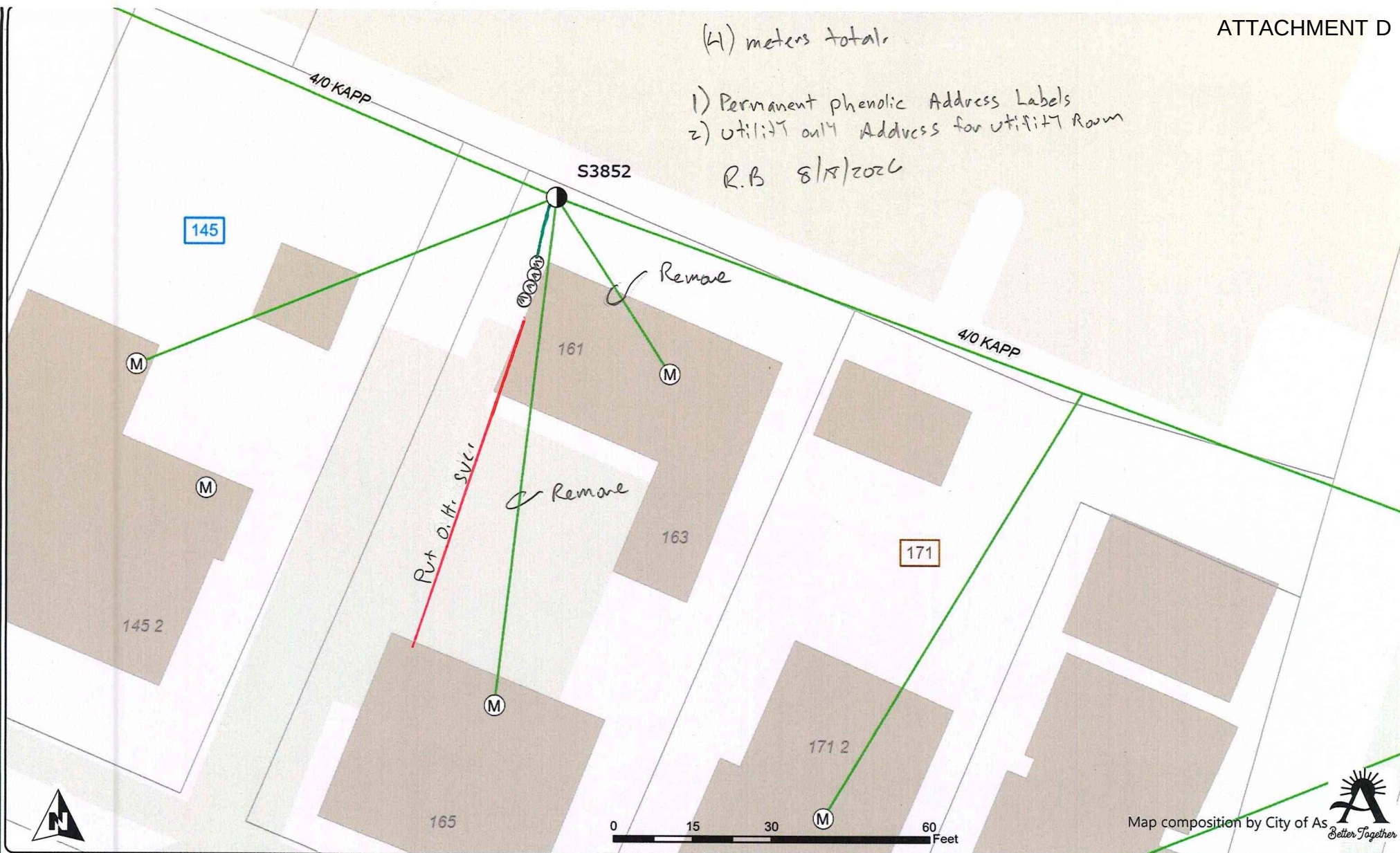
3. Exterior Trim & Utility Details

- **Window & Door Casing:** 4-inch LP SmartSide trim casing with sloped sills and drip caps on all cased openings.
- **Corner Boards:** 4-inch LP SmartSide vertical corner boards on cased corners.
- **Roofline / Parapet:** No decorative trim or frieze boards proposed; rooflines terminate with standard flashing/drip edges as detailed.
- **Utilities & Electrical Equipment (AMC 18.4.2.050 Compliance):** Per City of Ashland Public Works / Electric Department requirements, a 4-meter head and disconnect panel assembly will be installed on the West elevation of Building 2. Located approximately 70 feet behind the B Street front property line and largely screened behind Building 1, the utility assembly maintains minimal visual profile from the B Street historic streetscape. Enclosure and exposed conduit will be painted to match the adjacent siding surface.

(4) meters total.

- 1) Permanent phenolic Address Labels
- 2) Utility only Address for utility Room

R.B 8/18/2026

Map composition by City of As  Better Together**161-163-165 B St.**

Date Printed: 8/18/2026

- annotation — Down guy ++ Span guy - Substation * Recloser • Regulator - E Sectionalizer, Cabinet - Sectionalizer, Protected - DEAD END	— OPEN - AFN Power Supply - Charter box - Light Disconnect - AFN Booster - Meter - Primary Meter - Light - ELF	- Blade Switch - Closed - Blade Switch - Open - Cut-out/Fuse - Cut-out/SB - Gang Switch - Closed - Gang Switch - Open - Switch (Detail map) - VFI Fuse - Capacitor	- Ground Mounted - Pole Mounted - Doghouse - Handhole, Primary - Handhole, Secondary - Light Pole - Metal - Pad - Transformer - Pad Vault - Cabinet	- Pole - Pole - Foreign - Pole - Joint Ownership --- Conduit - OH Lighting Wire - OH PRI 1PHS - OH PRI 2PHS - OH PRI 3PHS - OH Secondary	- UG Lighting Wire - UG PRI 1PHS - UG PRI 2PHS - UG PRI 3PHS - UG Secondary - UG Secondary, Commercial - Abandoned annotation	Guy — Down guy ++ Span guy - Substation RecSecReg * Recloser • Regulator - E Sectionalizer, Cabinet	- Sectionalizer, Protected Dead End / OPEN — DEAD END — OPEN MiscDev - AFN Power Supply - Charter box - Light Disconnect
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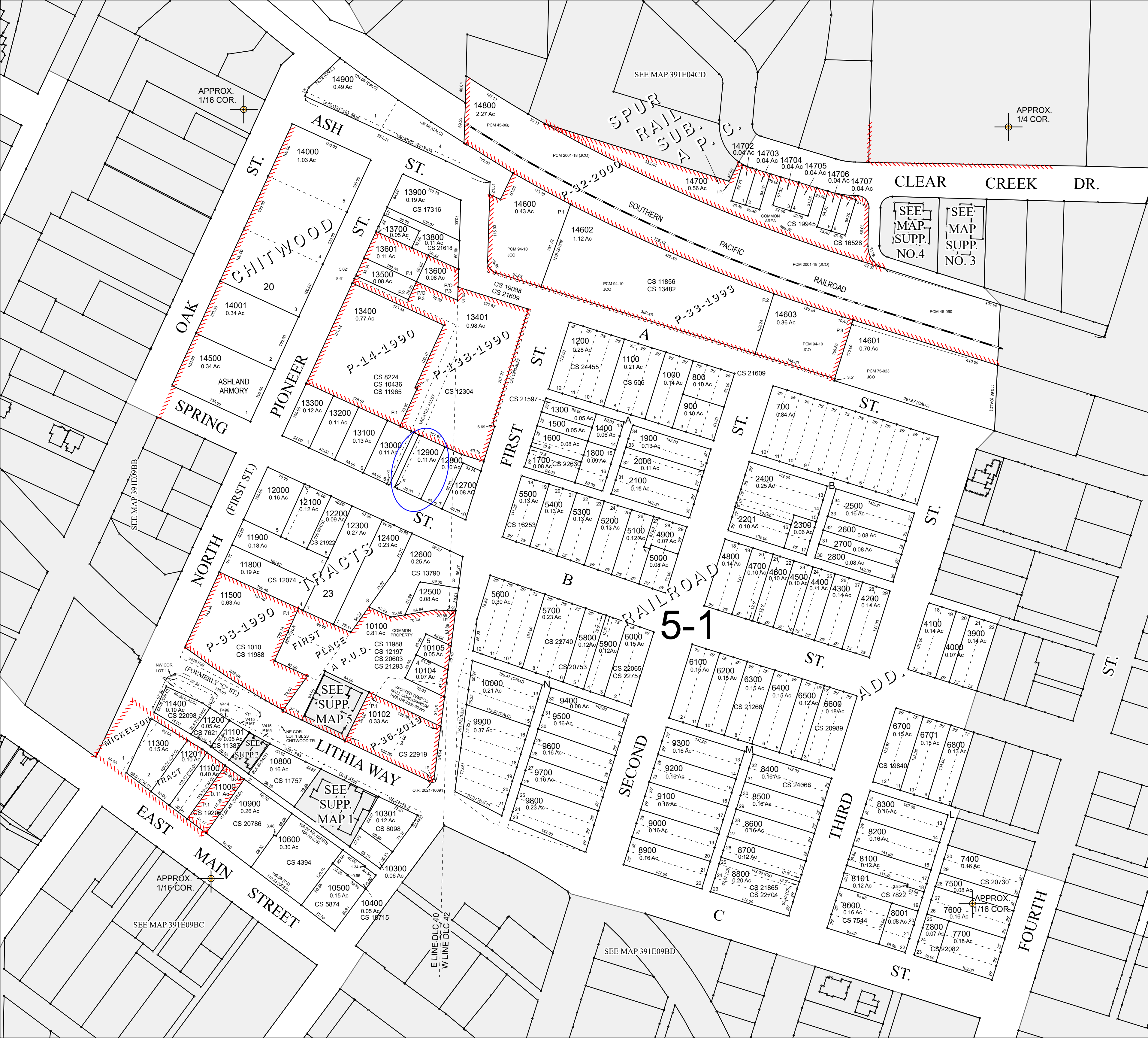
Jackson County, Oregon
N.E. 1/4 N.W. 1/4 SEC.09 T.39S. R.1E W.M.
Scale 1"=100'

6900 ADDED TO 7000
7900 ADDED TO 8000
201, 200A1 ADDED TO 100
11600, 11700 ADDED TO 11500
14600M1 - 14603M1
10700 REMAPPED TO 80000
3300 ADDED TO 3200
11001 REMAPPED TO 70000
2900-3800 REMAPPED TO 391E09AB
14604 REMAPPED TO 391E09AB
7000-7300 REMAPPED TO 391E09AB
100-500 REMAPPED TO 391E09AB
14604 REMAPPED TO 391E09AB
3799 ADDED TO 3700
10103 ADDED TO 10102
15000 REMAPPED TO 50000 & BROUGHT BACK
11601 ADDED TO 10100
11701 ADDED TO 10100
15000 ADDED TO 10100
10101 REMAPPED TO 40000
90001, 90002, 90003 ADDED TO 90000
90000 REMAPPED TO 15000

<u>Tax Lot Lines</u>	<u>Anno Arrow</u>
<u>Historical Boundary</u>	<u>Land Hook</u>
<u>Railroad Centerline</u>	<u>PLSS Corner</u>
<u>Subdivision Line</u>	<u>Tax Code</u>
<u>Water Body</u>	



Updated:07/31/2026





BUILDING AT REAR OF PROPERTY

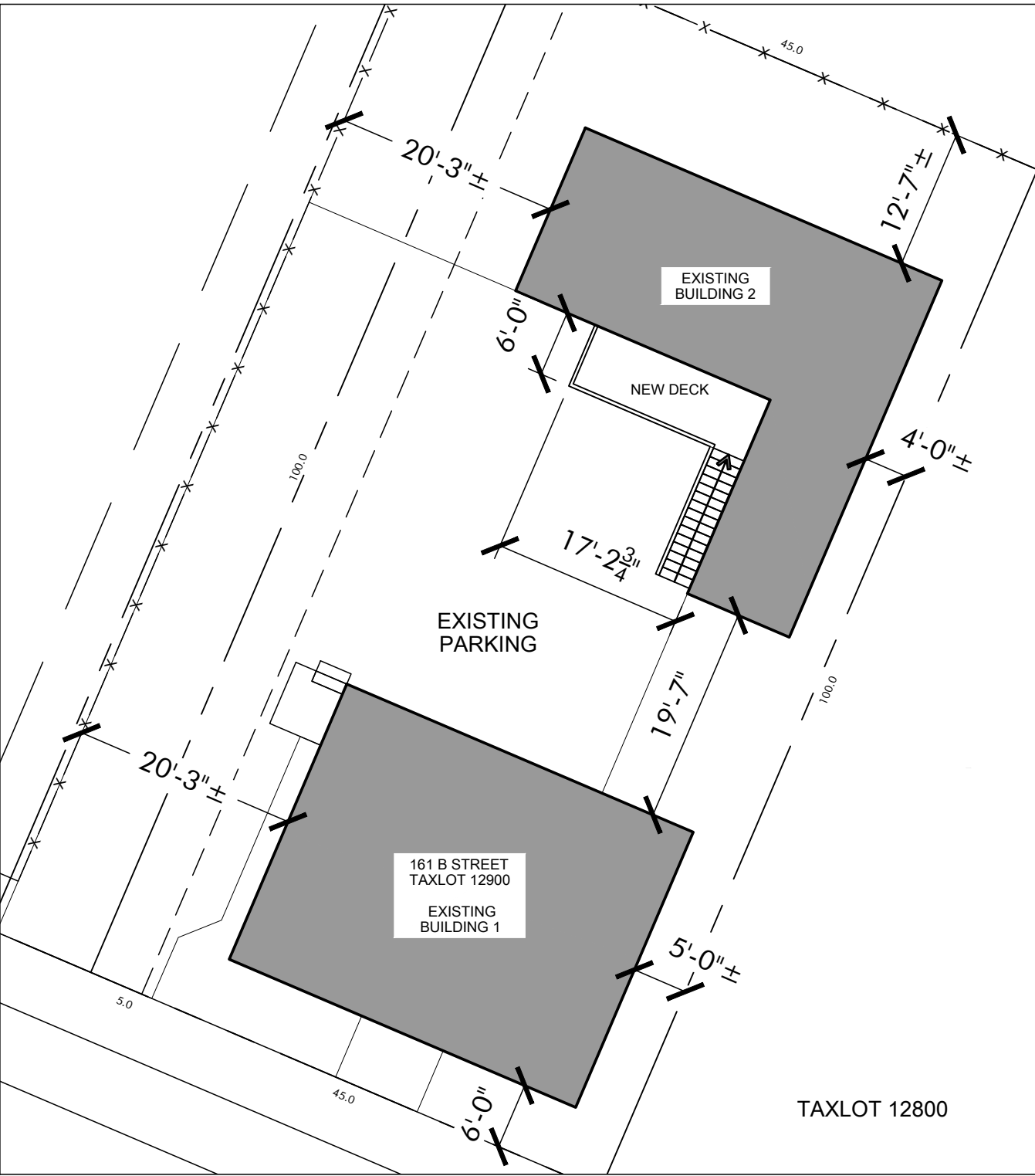
161 B Street, Ashland, OR

Remodel of Three Rental Units



BUILDING AT STREET FRONT

DEVELOPMENT MAP



VICINITY MAP



PROJECT INFORMATION

ADDITIONAL CONTACTS:
Structural Engineer:
KAS & ASSOCIATES ENGINEERING INC.
304 S. Holly Street
Medford, OR 97501
Tel (541) 772-5807
kas@kasinc.com

SITE & BUILDING DATA:
Location MAP 39 1E 09 BA TAXLOT 12900
Lot Size 5008.22 s.f. (0.11 Acres)
Zoning R-2
Occupancy Multi-Family Residence
Elevation Approx. 1896.0± ft. V.I.F.
Seismic Design Category D
Wind Basic Wind Speed = 96 MPH
Frost Line 12"
Soil Assumed 1500 PSF bearing pressure

EXISTING FLOOR AREA:
BUILDING 1:
Footprint/Heated 918.00 s.f.
BUILDING 2:
1st Floor - Unit 1 - Heated 698.09 s.f.
1st Floor - Laundry - Heated 51.91 s.f.
2nd Floor - Unit 2 - Heated 560.00 s.f.
3rd Floor - Unit 2 - Heated 191.70 s.f.
TOTAL EXISTING FLOOR AREA: 2,419.70 S.F.

PROPOSED FLOOR AREA:
BUILDING 1:
Footprint/Heated 918.00 s.f.
BUILDING 2:
1st Floor - Unit 1 - Heated 725.72 s.f.
1st Floor - Laundry - Heated 51.91 s.f.
2nd Floor - Unit 2 - Heated 599.43 s.f.
3rd Floor - Unit 2 - Unheated Storage 0.00 s.f.
TOTAL PROPOSED FLOOR AREA: 2,295.06 S.F.
NET FLOOR AREA CHANGE: -124.64 S.F. (NET REDUCTION)
NET FOOTPRINT CHANGE: 0.00 S.F. (0.00%)

LOT COVERAGE (Existing):
Building 1 Footprint 918.00 s.f.
Building 2 Footprint 750.00 s.f.
Building 1 Walkway 75.00 s.f.
Building 2 Front Porch 48.00 s.f.
Building 2 Back Porch 33.00 s.f.
Parking/Driveway 1569.17 s.f.
Total Impervious 3393.17 s.f.

LANDSCAPING 1615.05 s.f.

BUILDING REQUIREMENTS & SPECS:
ENERGY EFFICIENCY:
Baseline (minimum) Values (see add'l. values per energy form):
Exterior Walls: R-21
Flat Ceilings: R-49
Framed Floors: R-30
Windows: U-0.27
Exterior Doors: U-0.20
HVAC: Heat Pump to be selected by owner
Water Heater: To be selected by owner

One "additional measure" will be selected from TABLE N1101.1(2) ADDITIONAL MEASURES by owner to comply with the 2023 energy code. New buildings using Section N1105.3, Exception 3, shall select two additional measures from table N1101.1(2).

GENERAL NOTES:

- CODE BASE:
This project is to be built in accordance with applicable Oregon Building Codes:
• General: 2023 ORSC (Oregon Residential Specialty Code)
Note: Chapters 12-24 of the 2023 ORSC governs Mechanical.
Note: Chapter 11 of the 2023 ORSC governs Energy Efficiency.
Note: Chapter 3, Section R327 of the 2023 ORSC governs Wildfire Hazard Mitigation.
• Plumbing: 2023 OPSC (Oregon Plumbing Specialty Code)
• Electrical: 2023 OESC (Oregon Electrical Specialty Code)
• Also see sheet structural engineer's design data

Confirm dimensions in the field. Dimensions shown are to rough framing unless noted otherwise. Written dimensions take precedence over scaled dimensions. Verify scaled dimensions with the designer. Any discrepancies or omissions shall immediately be brought to the attention of the general contractor and the designer.
If any sealed structural drawings and details are added to these plans by a professional engineer, those structural drawings and specifications take precedence over architectural drawings and details. Any discrepancies shall immediately be brought to the attention of the structural engineer, the general contractor and the designer.

SHEET INDEX

- | | |
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| A0.1 | PROJECT DATA |
| A0.2 | ASSEMBLIES |
| A1.0 | SITE PLAN & SPECIFICATIONS |
| A2.0 | DEMOLITION PLANS |
| A3.1 | BUILDING 1 & BUILDING 2 FLOOR PLANS |
| A3.2 | WINDOW TYPES & DOOR SCHEDULE |
| A4.0 | BUILDING 1 SECTIONS & ELEVATIONS |
| A5.0 | BUILDING 2 SECTIONS & ELEVATIONS |
| A6.0 | TREE PROTECTION PLAN |



DE'ZIN LLC
170 HARRISON STREET
ASHLAND, OR 97520
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REVISIONS

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C	5/21/2026	VER. 2 PLAN CHECK
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E	6/16/2026	REV. TO WINDOWS
F	7/28/2026	REV. TO SIDING
G	8/18/2026	PERMIT SUBMITTAL
H	8/24/2026	REV. TO TREE PROTECTION PLAN

161
B STREET

ASHLAND, OR
97520
MULTI-FAMILY DWELLING
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OWNER/BUILDER:

PETE
EGGSPUEHLER

DRAWING TITLE:

PROJECT
DATA

DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A0.1

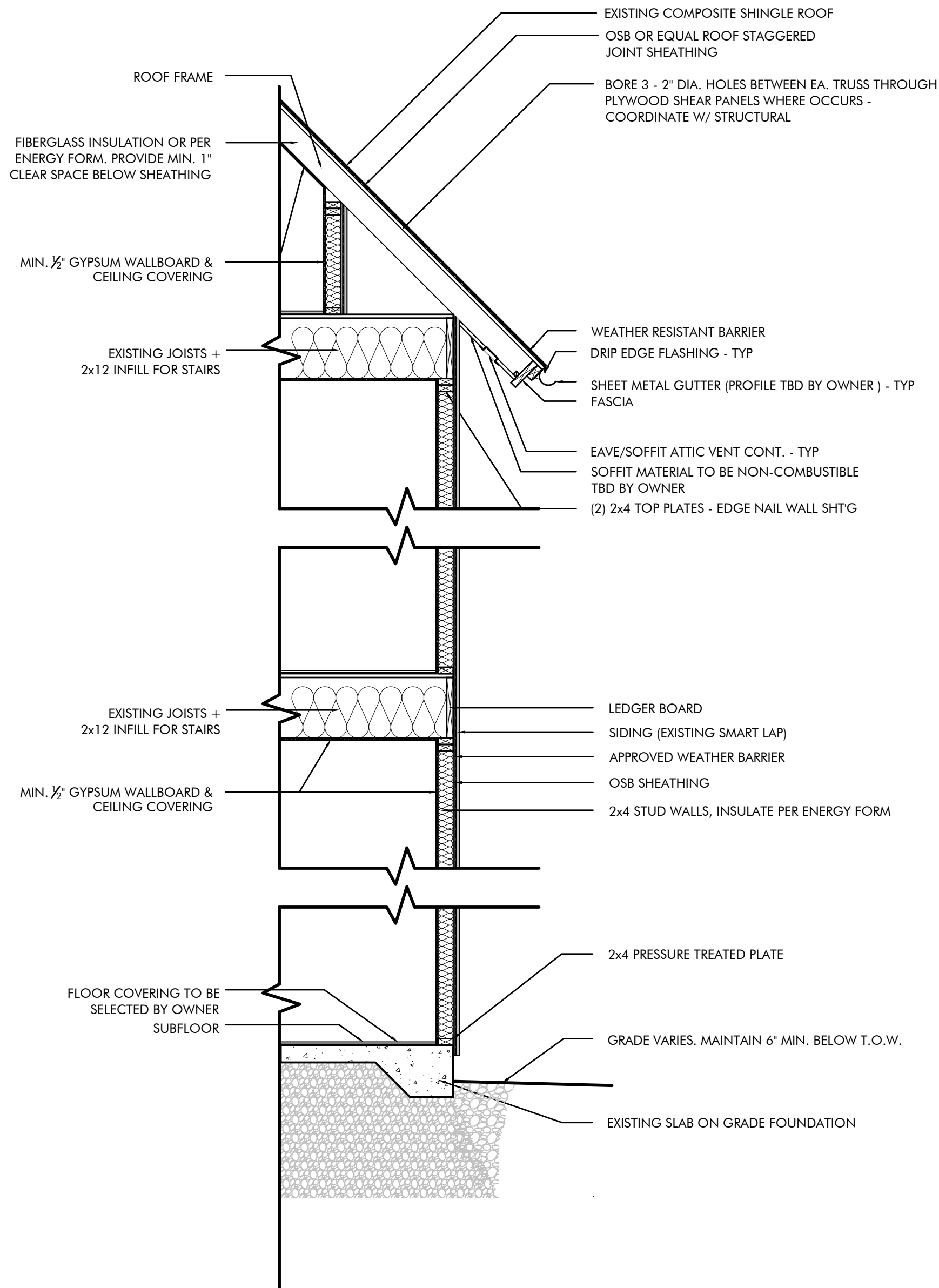
1 OF 9 SHEETS



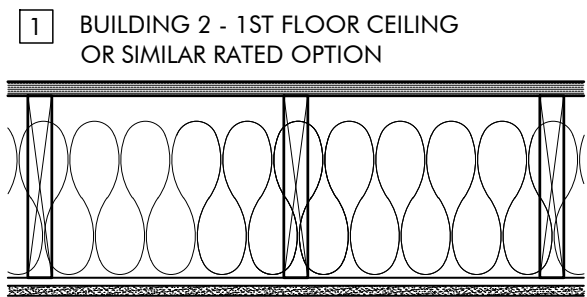
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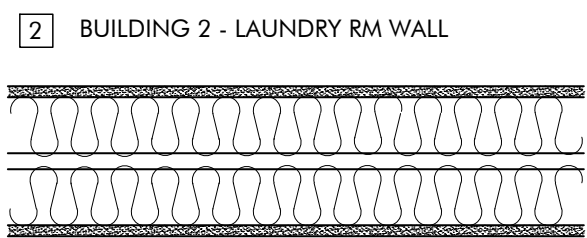
2 WALL SECTION
SCALE: 1/2" = 1'-0"



- 1" T&G SUBFLOOR + NOMINAL FINISH WOOD FLOOR
- 2X10 MIN. EXISTING JOISTS
- INSULATION OPTIONAL (DETERMINED BY OWNER)
- RESILIENT CHANNEL
- 1 LAYERS OF 1/2" TYPE X DRYWALL

1 HOUR FIRE RESISTANCE FLOOR-CEILING, WOOD-FRAMED, GA FILE NO FC 5240, 45-29 SC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS
One layer 1/2" type x gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" type s drywall screws 12" o.c. gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" type w drywall screws. Wood joists supporting 1" nominal t & g wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges t & g and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.

APPROX. CEILING WEIGHT: 3 PSF
FIRE TEST: UL R1319-65, 11-16-64,
UL DESIGN L514
SOUND TEST: CK 6512-6, 7, 4-15-65
IIC & TEST: 39 (67 C & P)
CK 6512-6, 4-15-65



- 5/8" TYPE X DRYWALL
- 2X4 WALL
- INSULATION OPTIONAL (DETERMINED BY OWNER)
- 1" AIR GAP
- INSULATION OPTIONAL (DETERMINED BY OWNER)
- 2X4 WALL
- 5/8" TYPE X DRYWALL

1 HOUR FIRE RESISTANCE WALL ASSEMBLY, GA FILE NO. WP 5512, 45 TO 49 STC SOUND (W/O INSULATION)
GYPSUM WALLBOARD, WOOD STUDS
One layer 5/8" type x gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of double row of 2 x 4 wood studs 16" o.c. on separate plates 1" apart with 6d coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c. joints staggered 16" on opposite sides. horizontal bracing required at mid-height. (LOAD-BEARING)

THICKNESS: 9 1/4"
APPROX. WEIGHT: 8 PSF
FIRE TEST: SEE WP 3605
(UL R1319-4, -6, 6-17-52;
UL R2717-39, 1-20-66;
UL R3501-52, 3-15-66,
UL DESIGN U305;
ULC DESIGN W301)
SOUND TEST: ESTIMATED 45 TO 49 STC

INTERIOR BUILDING 1 & 2

3 INTERIOR 2x4 WOOD STUD WALL



- 1/2" DRYWALL
- 2x4 WOOD STUDS @ 16" O.C.
- 1/2" DRYWALL

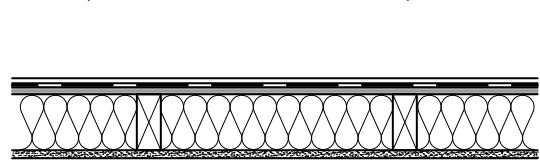
4 INTERIOR 2x6 WOOD STUD WALL



- 1/2" DRYWALL
- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" DRYWALL

EXTERIOR BUILDING 2

5 EXTERIOR 2x4 WOOD STUD WALL (EXISTING SMART LAP SIDING)



- EXISTING SIDING (COLOR TO BE SELECTED BY OWNER)
- WEATHER RESISTANT BARRIER (WRB)
- MATCH EXISTING EXTERIOR SHEATHING THICKNESS WITH PLYWOOD OR OSB
- EXISTING 2x4 WOOD STUDS
- R-13 INSULATION
- 1/2" DRYWALL

NOTES

- INSTALL ALL PRODUCTS PER MANUFACTURERS INSTRUCTIONS

1 WALL TYPES SCALE: 1" = 1'-0"

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OWNER/BUILDER:

PETE
EGGSPUEHLER

DRAWING TITLE:

ASSEMBLIES

DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A0.2

2 OF 9 SHEETS

WATER & SEWER UTILITY NOTES:

Water Service: Existing domestic water service from the B Street main is maintained without modification or demand expansion.

Sewer Service: Existing sanitary sewer lateral connection to the B Street main is maintained without modification.

Scope Limit: Project scope is limited to interior floor plate reconfigurations and exterior stair/balcony circulation. No new utility connections, ground disturbance, or main extensions are proposed.

ELECTRICAL SERVICE NOTES:

- (E) 125 AMP METER SOCKET TO BE REMOVED.
- (N) 400 AMP NEMA TYPE 3 OUTDOOR ENCLOSURE 4 GANG METER PACK WITH DISCONNECT
- (N) 200 AMP NEMA TYPE 3 OUTDOOR ENCLOSURE
- (RED DASHED LINE)=PROPOSED ELECTRIC SERVICE ROUTE.

THERE ARE NO CHANGES PLANNED THAT WILL AFFECT SOLAR ACCESS ON NEIGHBORING PROPERTIES

SPECIFICATIONS

1.0 GENERAL REQUIREMENTS

- 1.1 Contractor(s) shall perform his (their) work in conformance with locally current edition of all building codes, ordinances, laws and other regulations and standards of each and every governmental agency and bureau having jurisdiction over project. Contractor shall obtain and pay for all permits, licenses, and fees required by city, county, and state regulations. All laws, ordinances and regulations shall be complied with and necessary expenses for compliance shall be included in the contract.
- 1.2 Contractor shall be responsible for all conditions and dimensions affecting their work prior to commencing construction. Contractor shall notify the Designer and/or Engineer immediately of discrepancies found within the construction documents. Contractor is solely responsible for accuracy of lines and levels, for accuracy of constructed details, for confirming and coordinating all quantities and dimensions, for selecting fabrication processes, for techniques of assembly and performance of all work in a safe and satisfactory manner.
- 1.3 Contractor shall be responsible for the coordination of all work, including that of its subcontractors. Contractor agrees to bind every subcontractor to these requirements by terms of their contract as such terms are applicable to subcontractor's work.
- 1.4 Contractor shall be responsible for the daily removal of all debris accumulated as a result of their operation. All scrap, debris, and other excess material shall be lawfully removed from the site, and shall at no time allow accumulation to become a hazard to normal construction activities, nor a barrier to access by the building official and any other parties entitled to enter the site for official business.
- 1.5 Contractor shall guarantee all work, materials, and products for a minimum period as required by Oregon state law after date of acceptance of work. Furthermore, all guarantees and warranties shall conform to the applicable requirements of the codes and laws of the State of Oregon.
- 1.6 The following may be included at the Owner's option in the Contract for Construction as agreed between the Owner and Contractor:

- Contractor shall arrange for and secure any required tests and/or inspections, and arrange for payment of required fees as requested by Owner.
- Contractor shall provide and maintain bonds and insurances as required by Owner.
- Contractor shall protect and hold harmless the Owner and/or Owner's agent from any liability whatsoever from any injury resulting from the project, including loss of property, until the completion of the project.
- Any proposal for substitutions by Contractor contrary to drawings and specifications shall be submitted to Owner for approval or denial.
- Contractor shall provide supervision of the work during construction. A skilled superintendent shall be on job regularly to verify that all work is done properly and according to drawings and specifications. It shall be his responsibility to meet with each trade or subcontractor before work is to begin and review the job to be done. Before any work proceeds into the next phase, superintendent shall inspect work to see that it is in readiness for next phase or trade.
- Contractor shall review and approve all product data and samples prior to submission to Owner and/or Designer, and shall determine and review for accuracy. Field measurements, field construction criteria, conformance with specifications, jurisdiction requirements, and coordination with construction documents as is customary and prudent.
- Owner may order extra work or make changes by altering, adding to or deducting from the work, the contract (sum/fee/amount) being adjusted to the mutual satisfaction of Owner and Contractor.

1.7 Contractor shall provide to the Owner certified properly executed waivers of liens by Contractor and all subcontractors and suppliers as required by statute.

1.8 SHOP DRAWINGS: Contractor shall review all shop drawings and affix his/her signature to such documents prior to submitting them to Designer; Designer will review shop drawings for conformance to the design intent of the Drawings as to installed appearance and utility only, not for dimensional accuracy nor structural integrity.

1.9 Designer will not be responsible for nor have control nor charge over the acts or omissions, construction means, methods, techniques, sequences or procedures, or for safety precautions and programs of the Contractor, subcontractors, nor any of their agents or employees, nor any other persons performing any of the work.

1.10 Work shall be constructed according to these working drawings and specifications and addenda as agreed upon between Owner and Contractor. The term "Contractor" refers to any contractor licensed to perform their services in the State of Oregon who may enter into a legal contract directly with the Owner. "Subcontractor" refers to those having a legal contract for the work with the General Contractor, or hired by any other subcontractor.

1.11 Drawings and specifications are intended to show and describe details for a complete construction. Parts and details not fully shown or described shall be executed according to standard first class trade practices, and in similar manner and spirit of details which are shown on drawings or described in specifications. If contractor finds any details which in his opinion are unsound or not waterproof, it shall be his/her duty to notify the Designer in writing of his opinion. If work is performed as detailed, it will be assumed that there has been no objection to the detail.

1.12 Figured dimensions shall be followed in preference to scale, and detail drawings in preference to small scale drawings. Contractor shall check accuracy of all dimensions in field prior to any work being constructed or materials or products fabricated or installed. Specifications and written notes and schedules on drawings shall be followed in preference to information furnished in the form of line drawings.

1.13 Detailed drawings furnished by Designer during construction to be approved by Contractor or Owner are to be considered explanatory and not as modifications of drawings and specifications unless specifically noted as such by the Designer. Notes, figures and details on said detail drawings shall be followed and executed as part of these general notes.

1.14 Contractor shall erect and properly maintain at all times as required by conditions and progress of work, all necessary protective devices, and other safeguards for the protection of workmen and the public. Barricades shall be constructed and located as shall be determined by local authorities and codes. Drainage shall be controlled to mitigate any off-site erosion or migration of silt onto adjacent public or private property.

1.16 At all times during construction or erection of project or its component parts, prior to completion of the structural frame or placement and permanent connection of component members to the structural frame, Contractor shall provide, or require framing and fabrication contractor to provide, install and maintain properly designed and constructed temporary bracing of adequate strength to prevent dislocation, distortion, cracking, detachment or any other damage to the work or any of its component parts due to normal and foreseeable wind and seismic forces.

1.17 Contractor shall insure that all glass, tile, plaster, painted surfaces, and floors are thoroughly cleaned of adhesive, staining, or corrosive materials, and left in a broom clean condition for acceptance by Owner.

1.18 All work and installations shall be as per the currently adopted version of the Oregon Residential Specialty Code.

2.0 SITE WORK

- 2.1 No soils report has been provided; the Designer has not reviewed any such report, and has assumed that standard code minimum bearing values apply. Contractor making excavations shall obtain a copy of any existing report, and shall prepare excavations and footings in strict conformance with its recommendations. If drawings do not reflect such conformance, Contractor shall immediately notify the Designer and Structural Engineer of changes required.
- 2.2 Where excavations are made to depth greater than indicated in drawings, or by a soils report, such additional depth shall be filled with concrete as specified for footings.
- 2.3 Fill materials shall be free from debris, vegetable matter and other foreign deleterious substances. Conform to current applicable state and local codes.
- 2.4 Compact back fill for trenches in accordance with any applicable soils reports recommendations and civil drainage or dewatering plans.
- 2.5 Water shall be removed from foundation excavation prior to placing of concrete. Care shall be taken and schedule planned so as not to dry out underlying natural soils.

3.0 CONCRETE

- 3.1 Concrete mixes, formwork, reinforcing, and placement of inserts and bolts shall be as shown, described or detailed on structural drawings, general or engineering notes, and these specifications.
- 3.2 All bolts, inserts, reinforcing steel, wire mesh, holdown anchors and other inserts shall be secured in place and inspected by the building official prior to securing delivery of or placing concrete. During placement of concrete, ensure securement and accurate location of bolts, inserts, reinforcing, anchors and other hardware until hardening of concrete.
- 3.3 Work concrete into all forms, into all corners, around reinforcement and embedded items.
- 3.4 Mix and Placement:
- 3.4.1 The minimum ultimate strength of concrete at 28 days shall be f'_c =2500 PSI unless otherwise noted on Structural Engineering plans.
- 3.4.2 Cement: ASTM C150 (Type II) unless alkaline soils are present (refer also to Structural Drawings, Specifications, and Calculations).
- 3.4.3 All concrete unless otherwise noted in the Structural Drawings, Specifications, and Calculations shall be regular weight hard rock type (150 #/CF). Aggregates shall conform to ASTM C33 with proven shrinkage characteristics of less than .005.
- 3.4.4 Concrete shall not free fall more than six feet. Pump or place as directly within forms as possible.
- 3.4.5 Concrete shall be maintained in a moist condition for a minimum of ten (10) days after placement, or per alternate proven curing methods used as specified in the current edition of the Manual of Practice of the American Concrete Institute.
- 3.4.6 Bolts embedded in concrete to be ASTM A307.

4.0 METALS

- 4.1 Structural steel shall conform to ASTM A36 and shall be fabricated and erected in accordance with the AISC Specifications and Code of standard Practice as amended.
- 4.2 Bolts shall conform to ASTM A325 unless noted otherwise (Use A307 for bolts embedded in concrete or masonry).
- 4.3 Reinforcing Steel:
- 4.3.1 Reinforcing steel shall be deformed steel conforming to the requirements of ASTM A615, (deformations shall be in accordance with ASTM A305) as follows: Grade 40 (#3 and #4 bar) unless otherwise noted on plans.
- 4.3.2 Bars shall be clean of rust, paint, grease or other materials likely to impair bond. Bends shall be made cold.
- 4.3.3 Prior to placing concrete, reinforcing steel and embedded items shall be well secured in position.
- 4.4 All lumber connectors attached to structural steel shall be as per Simpson Strong-Tie, or approved equal of equal or greater load carrying capacity. Connectors shall be shop welded per manufacturers recommendations.

5.0 CARPENTRY AND LUMBER

- 5.1 Framing Lumber: Conform with provisions of the West Coast Lumber Inspection Bureau, No. 16 Standard Grading Rules for West Coast Lumber, and each piece shall bear the grade stamp of approved grading agency.
- 5.2 Framing lumber species: Unless otherwise noted below, any approved species may be used. Manufactured members of equivalent rating may be used; provide certification.
- 5.3 Framing Lumber grades: The following grades shall be the minimum acceptable grades, unless otherwise noted herein or on drawings:
- | Item | Minimum Grade |
|-------------------------------|--|
| Studs: | Stud Grade |
| Structural Joists and Planks: | 2 inches to 4 inches thick, nominal; No. 2 (Douglas Fir) |
| Beams and Stringers: | 5 inches and thicker; No. 1 (Douglas Fir) |
| Posts and Timbers: | 5 inches by 5 inches and larger; No. 1 (Douglas Fir) |

5.4 Plywood sheathing shall be APA grade stamped, including panel index where applicable. Use exterior type, min. CC grade where plywood is to be exposed to weather during construction. All plywood shall be manufactured with exterior type glue. All plywood shall conform to U.S. product standard PS 174.

5.5 Nailing, pattern, connectors, and location shall be as specified in the structural engineering drawings. Sheathing grades and nailing shall be approved by building inspector prior to covering.

5.6 Miscellaneous materials:

5.6.1 Wood in contact with concrete or masonry within 6 inches of earth: Pressure treated D.Fir.

5.6.2 Framing Hardware: Provide Simpson Timber Company "Strongtie" connectors or other approved. All substitutes shall bear ICBO approval. All hardware shall be galvanized or rust inhibitive shop painted. Nails for connectors be as recommended by the manufacturer.

5.6.3 Nails shall be common. Nailing shall be per Chapter 23 of the Uniform Building Code unless noted otherwise on the plans and details. All nails exposed to weather shall be galvanized.

5.7 Maximum moisture content for all structural members shall not exceed 19% unless noted otherwise herein or on plans.

5.8 During construction, ensure that materials and assemblies are installed in such manner that there is complete retardation of active, direct and indirect moisture and weather elements from entering interior inhabited and uninhabited spaces through, around, over and under building components. Sequence construction activities to allow for installation of waterproofing and dampproofing materials and products specified or shown on drawings as necessary to provide a watertight, moistureight, and weathertight building envelope.

5.9 All lumber permanently exposed to weather shall be fully treated with an anti-fungal and water repellent formulation; use only galvanized nails, fasteners, and connectors except as otherwise provided herein.

6.0 ELECTRICAL DESIGN REQUIREMENTS

- 6.1 All 15 and 20 amp receptacles shall be tamper resistant per OESC 406.12.
- 6.2 Arc fault circuit interrupters shall be provided for all circuits described in OESC 210.12 (A)(1)(6).
- 6.3 Ground fault circuit interrupters shall be provided for all circuits described in OESC 210.8 (A)(1)(10).
- 6.4 Convenience outlets shall be spaced along walls (generally 6' from any point) and kitchen countertops (generally 24" from any point) per spacing requirements of OESC 210.52.



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MULTI-FAMILY DWELLING
© DE'ZIN LLC

OWNER/BUILDER:

PETE
EGGSPUEHLER

DRAWING TITLE:

SITE PLAN &
SPECIFICATIONS

DRAWN BY:

Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A1.0

TAXLOT 13000

EXISTING SCREENED
GARBAGE/RECYCLING AREA

TAXLOT 13401

EXISTING
BUILDING 2

NEW DECK

EXISTING
PARKING

161 B STREET
TAXLOT 12900

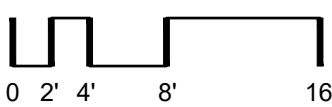
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BUILDING 1

TAXLOT 12800

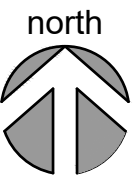
SURVEY NO. 10436
SWAIN SURVEYING, INC
SEPTEMBER 12, 1985

1 SITE PLAN

SCALE: 1"=10'-0"



SCALE: 1"=10'-0"





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OWNER/BUILDER:

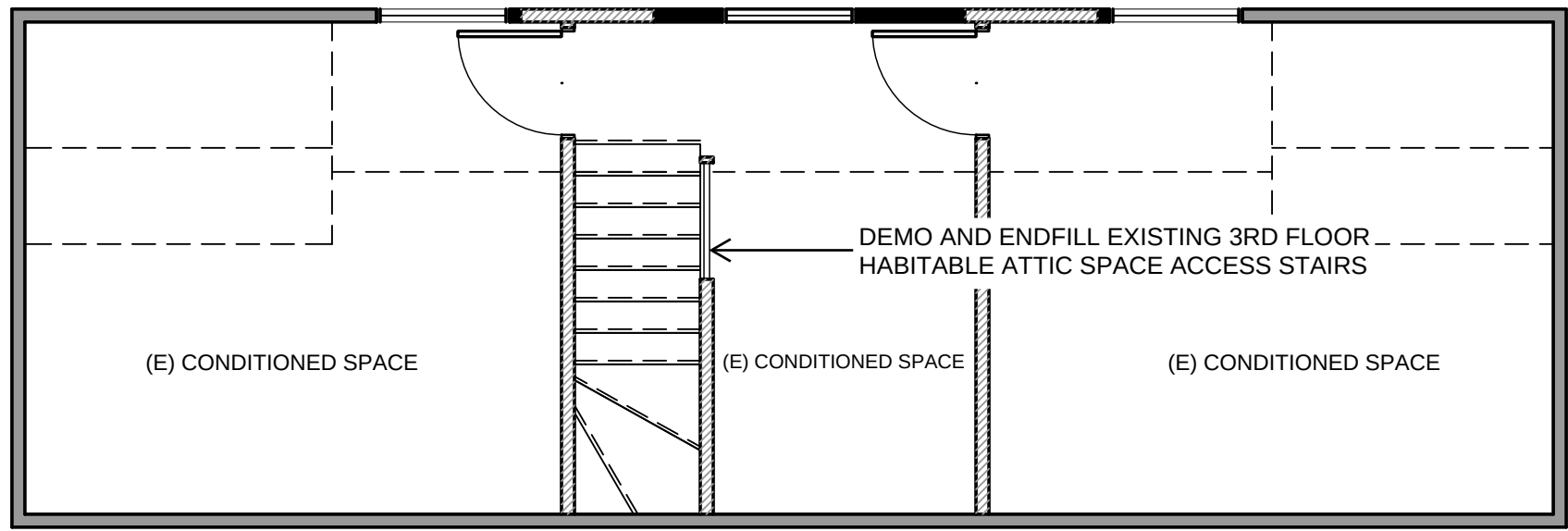
PETE
EGGSPUEHLER

DRAWING TITLE:
**DEMOLITION
PLANS**

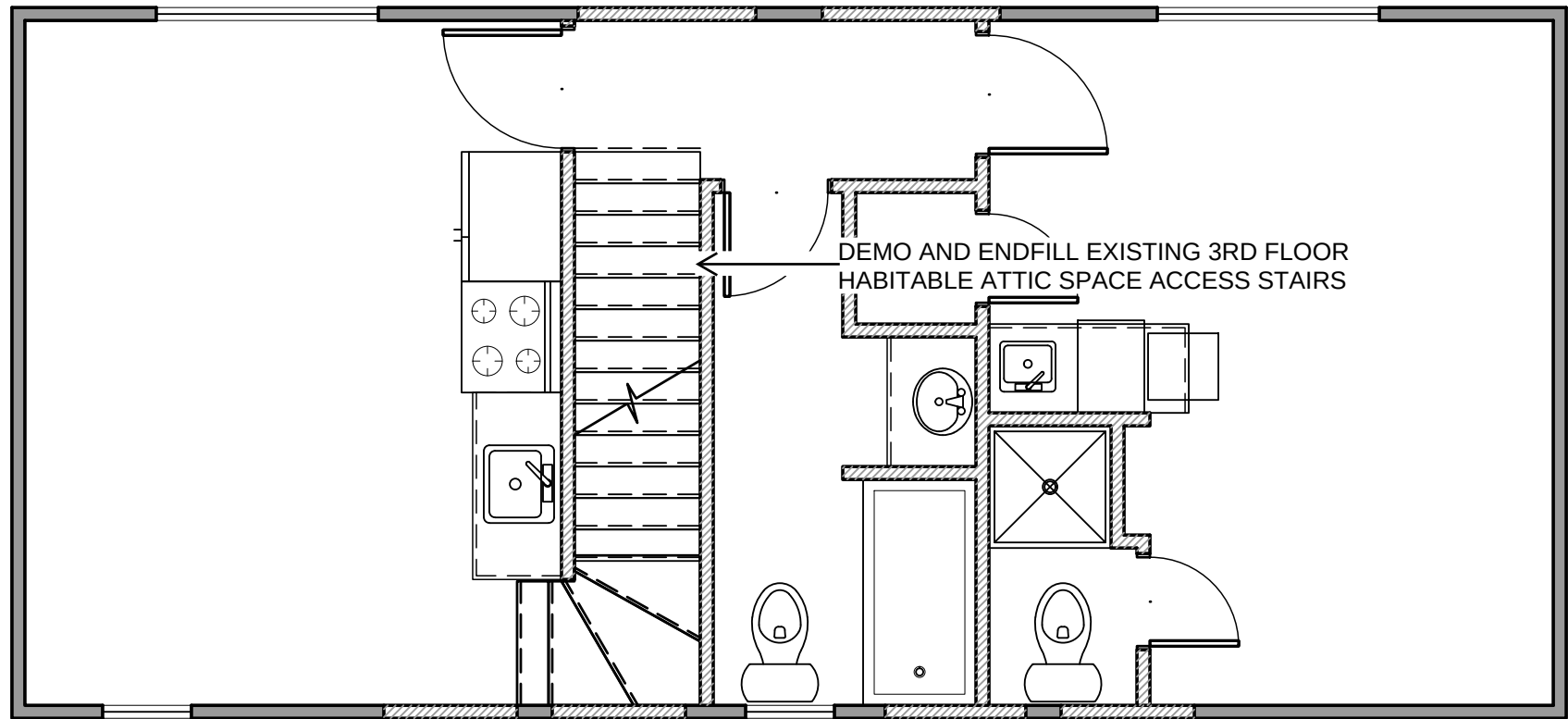
DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A2.0

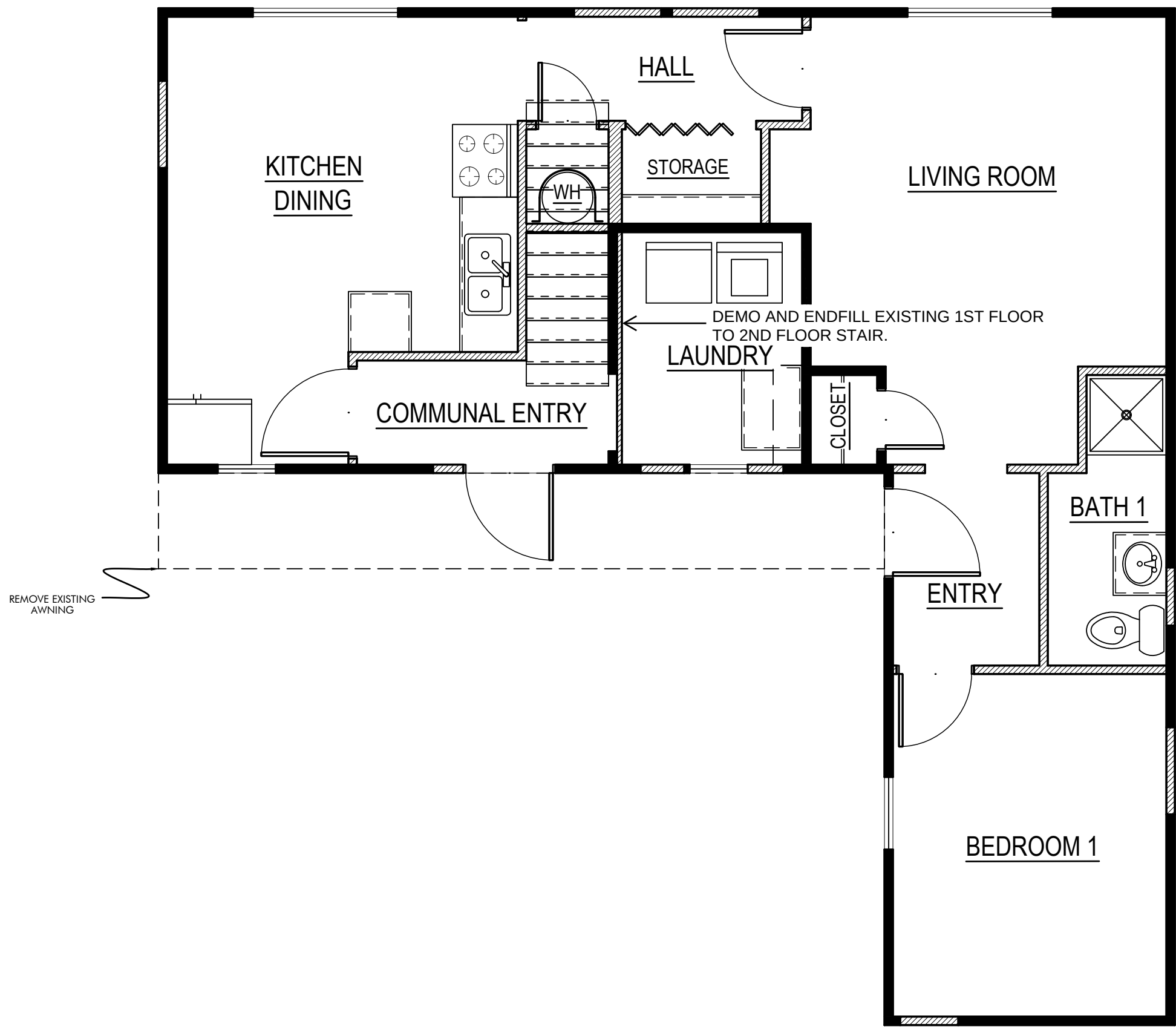
4 OF 9 SHEETS



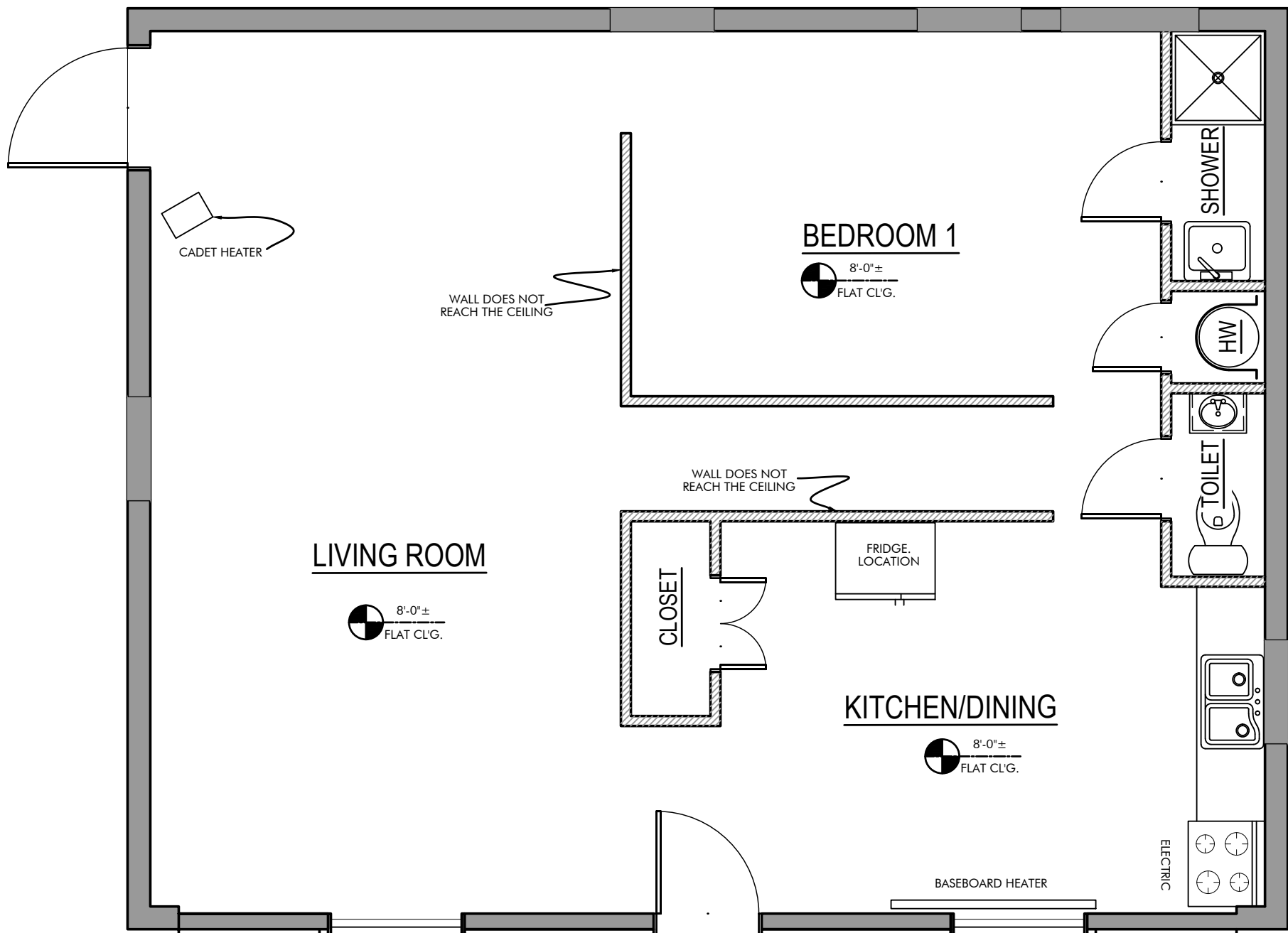
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SCALE: 1/4"=1'-0"



1 2ND LEVEL AS BUILT + DEMO PLAN
SCALE: 1/4"=1'-0"



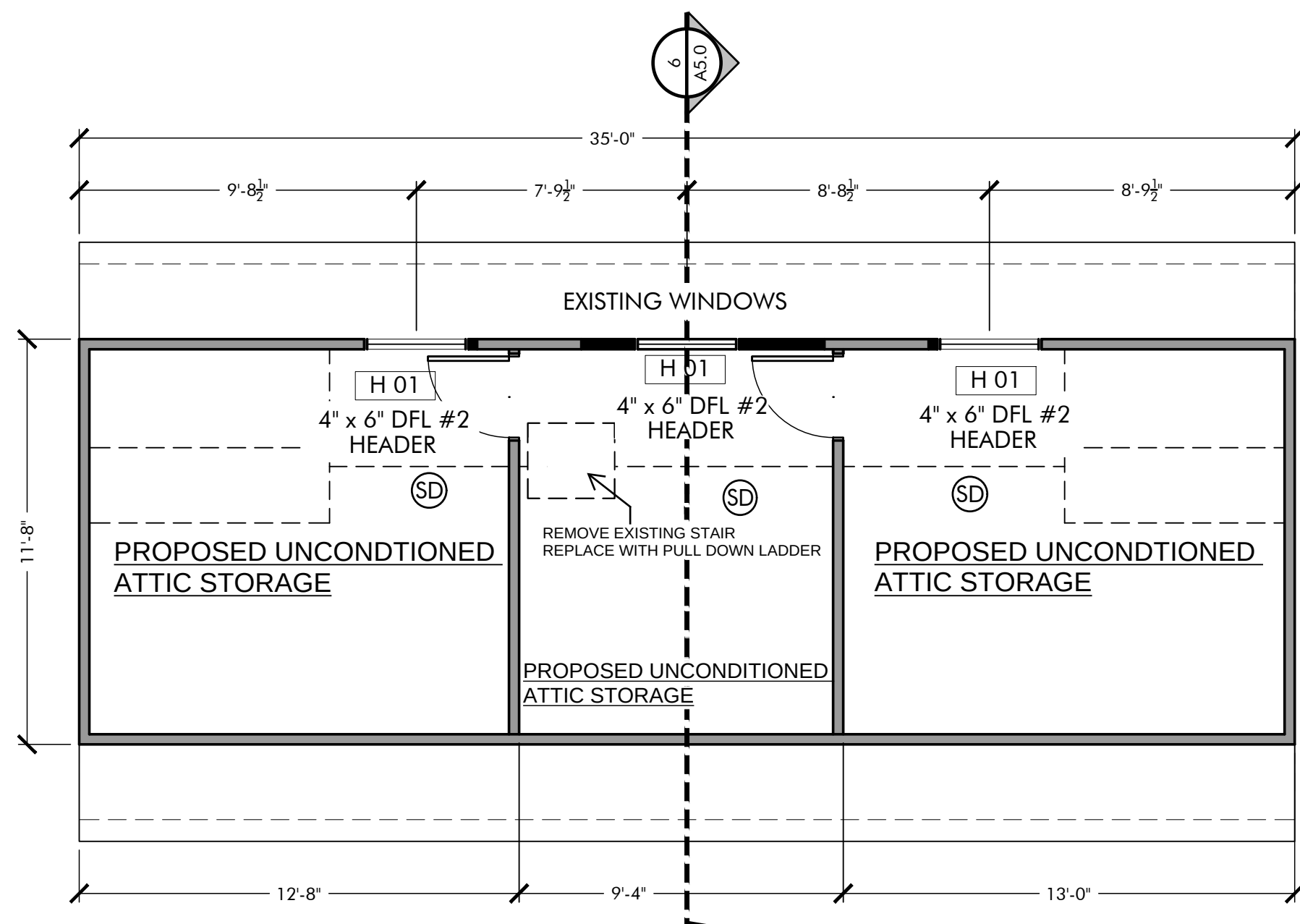
1 1ST LEVEL AS BUILT + DEMO PLAN
SCALE: 1/4"=1'-0"



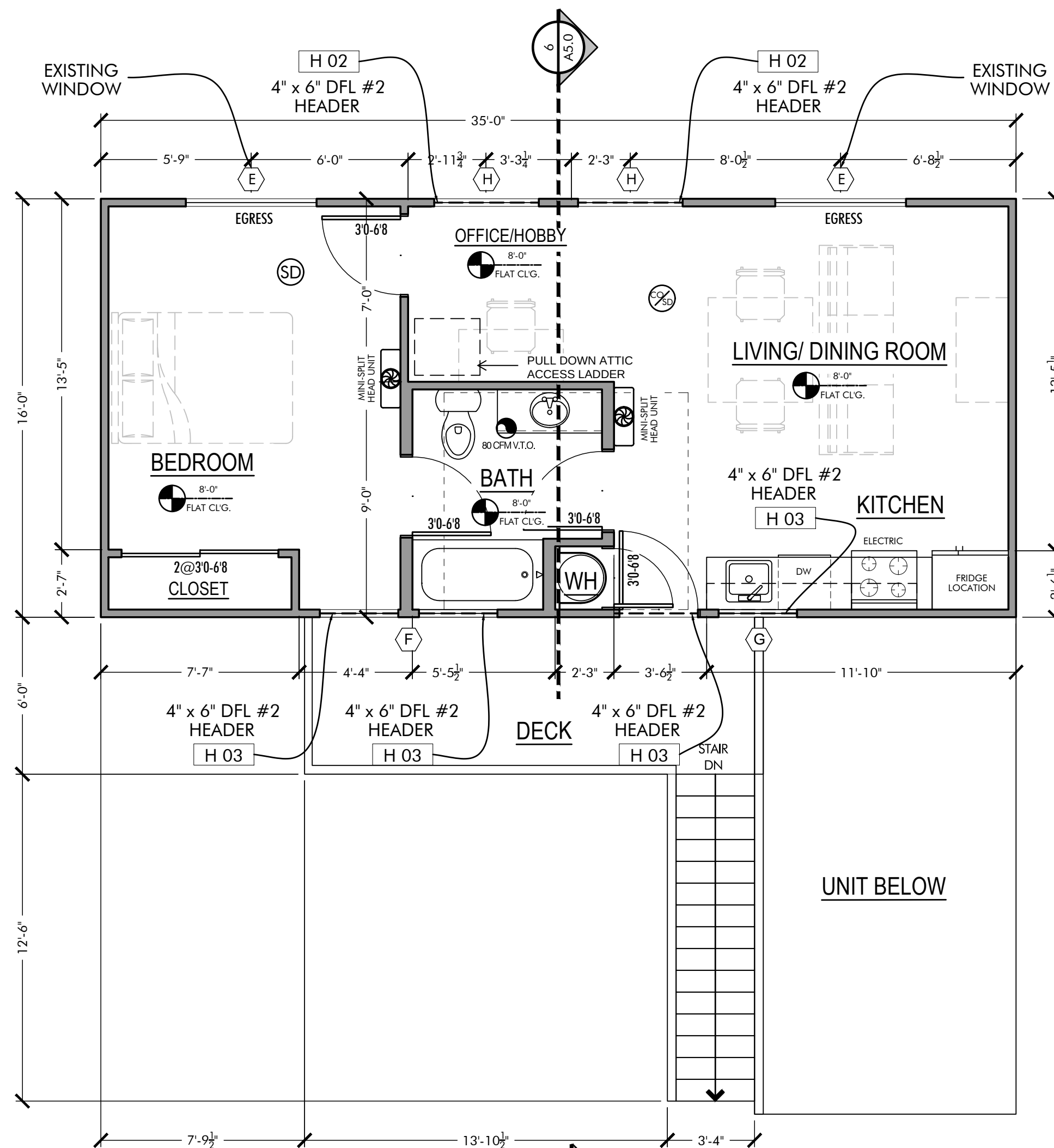
1 AS BUILT + DEMO PLAN
SCALE: 1/4"=1'-0"

AS-BUILT PLANS PROVIDED BY
DESIGN RESIDENTIAL LLC
DIMENSIONS NOT VERIFIED

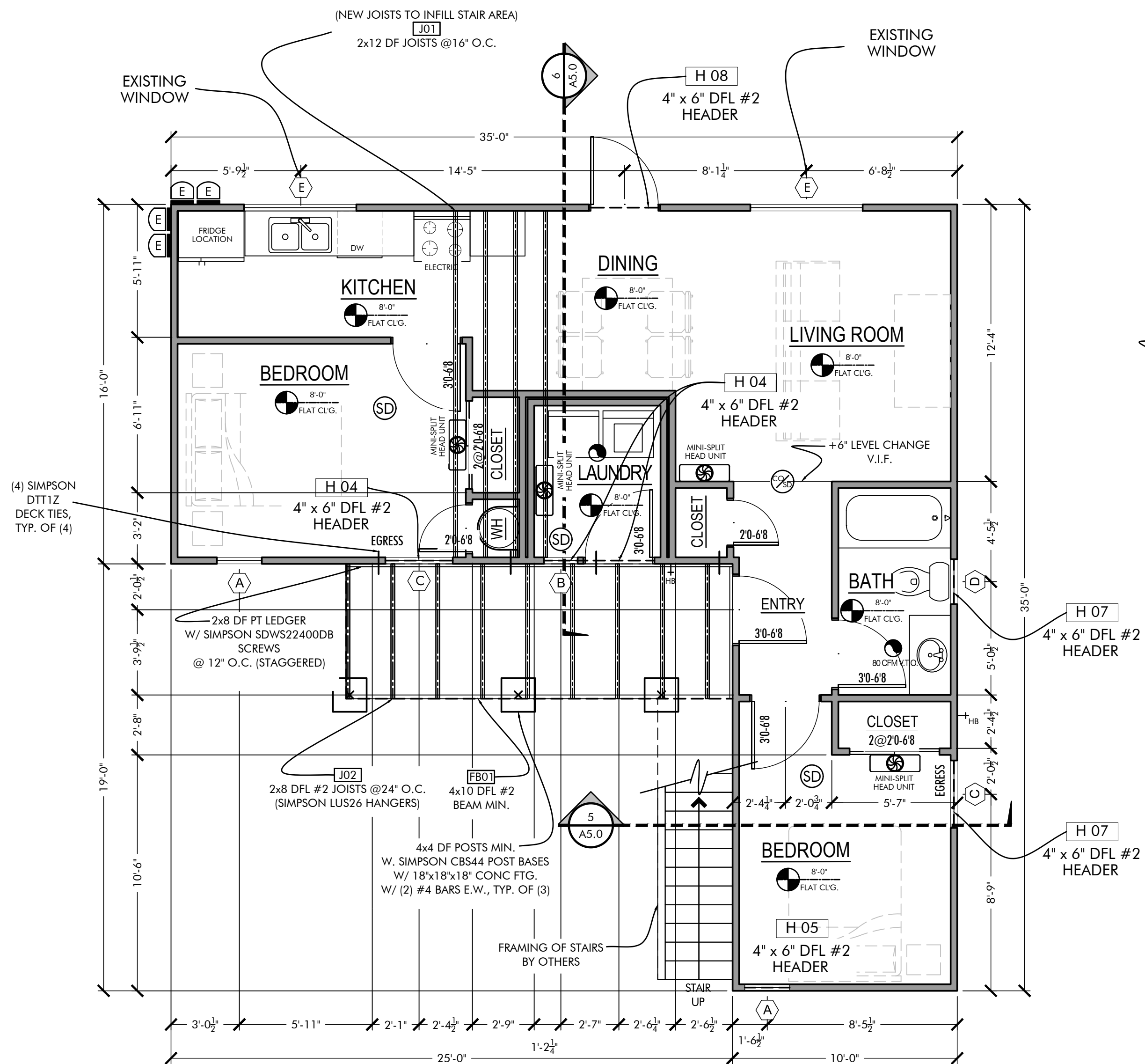
WALL TYPE LEGEND	
	EXISTING WALL
	REMOVE WALL



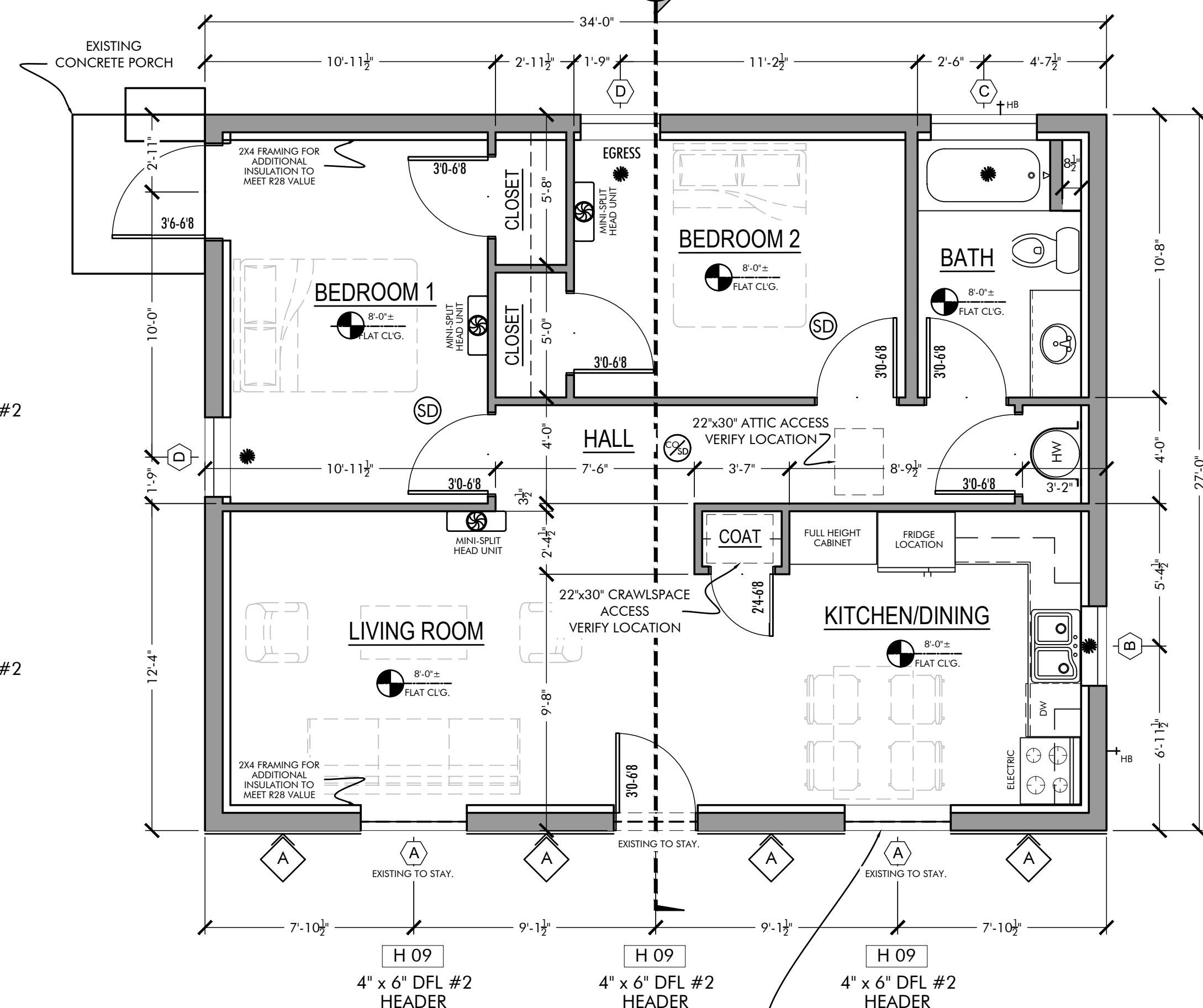
4 BUILDING 2 - 3RD LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"
SCALE: 1/4"=1'-0"



3 BUILDING 2 - 2ND LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"
SCALE: 1/4"=1'-0"



2 BUILDING 2 - 1ST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"
SCALE: 1/4"=1'-0"



1 BUILDING 1 FLOOR PLAN
SCALE: 1/4"=1'-0"
SCALE: 1/4"=1'-0"



PLANS BASED ON AS-BUILT
DRAWINGS PROVIDED BY
DESIGN RESIDENTIAL LLC
VERIFY ALL DIMENSIONS IN
FIELD



DE'ZIN LLC
170 HARRISON STREET
ASHLAND, OR 97520
+1 (503) 917-0267
inquiries@dezinfinehomes.com

REVISIONS

NO.	DATE	EVENT / NOTE
A	4/24/2026	SUBMIT FOR PLANNING
B	5/20/2026	VER. 2 FLOOR PLANS
C	5/21/2026	VER. 2 PLAN CHECK
D	5/27/2026	SUBMIT TO PLAN CHECK
E	6/16/2026	REV. TO WINDOWS
F	7/28/2026	REV. TO SIDING
G	8/18/2026	PERMITSUBMITTAL

161 B STREET

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MULTI-FAMILY DWELLING
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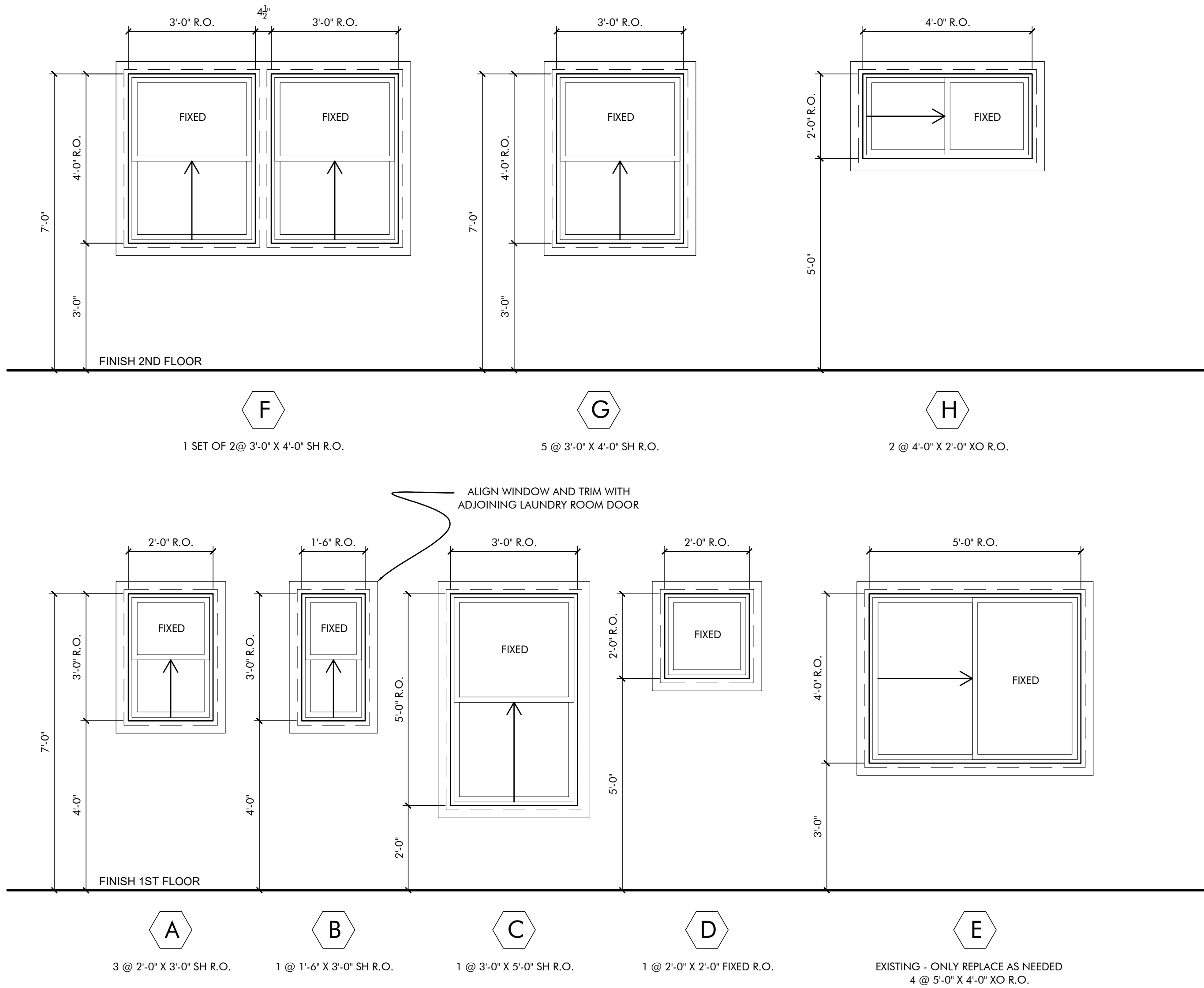
OWNER/BUILDER:
**PETE
EGGSPUEHLER**

DRAWING TITLE:
**FLOOR PLANS
VER. 2**

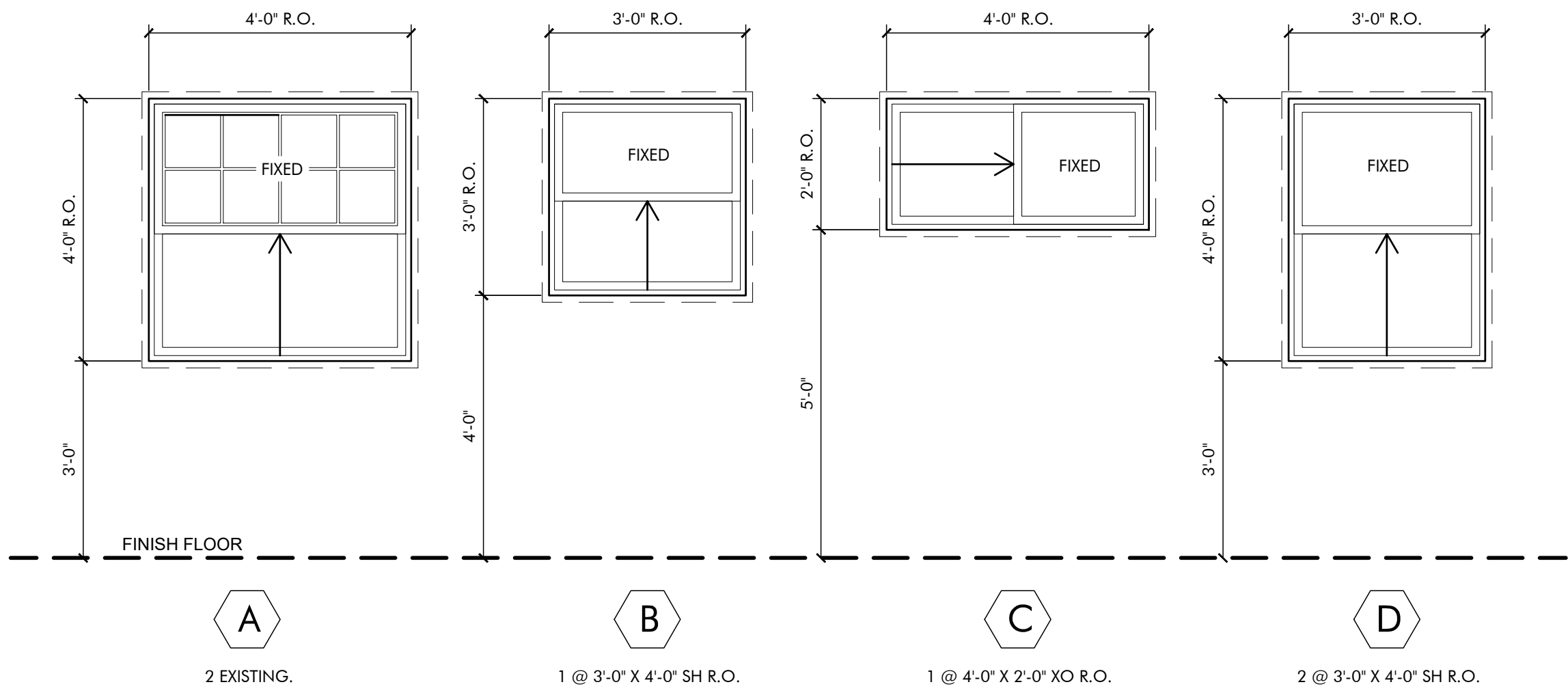
DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO. A3.1

5 OF 9 SHEETS



2 BUILDING 2 WINDOW TYPES
SCALE: 1/2"=1'-0"



1 BUILDING 1 WINDOW TYPES
SCALE: 1/2"=1'-0"

DOOR SCHEDULE	
BUILDING 1	BUILDING 2
	INTERIOR DOORS
	4 RH@3'-0-6'8
	2 LH@3'-0-6'8
INTERIOR DOORS	2 RH@2'-0-6'8
	1 LH@2'-0-6'8
	BI-BASS
	2@3'-0-6'8
EXTERIOR DOORS	4@2'-0-6'8
	2 RH@3'-0-6'8 (1 EXISTING)
	1 LH@3'-0-6'8
	1 LH FULL LIGHT @2'-6-6'8
2 LH@3'-0-6'8 (1 EXISTING TO STAY)	
SWINGS OUT	

REVISIONS

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G	8/18/2026	PERMITSUBMITTAL

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OWNER/BUILDER:
PETE
EGGSPUEHLER

DRAWING TITLE:
WINDOW YPES &
DOOR SCHEDULE

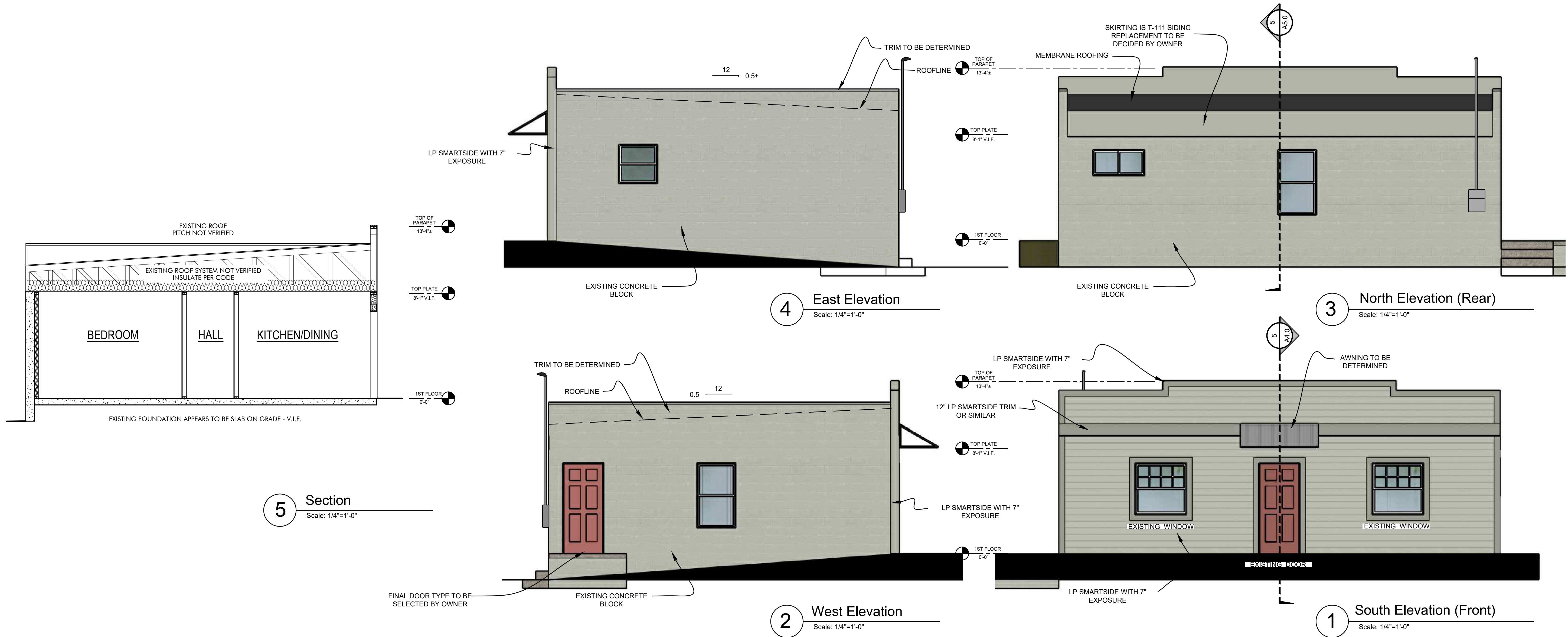
DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A3.2

6 OF 9 SHEETS

REVISIONS

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ELEVATIONS BASED ON
AS-BUILT DRAWINGS PROVIDED
BY DESIGN RESIDENTIAL LLC
AND ONSITE EXTERNAL
DIMENSIONS - VERIFY ALL
DIMENSIONS IN FIELD

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OWNER/BUILDER:

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EGGSPUEHLER

DRAWING TITLE:
**BUILDING 1
ELEVATIONS &
SECTIONS**

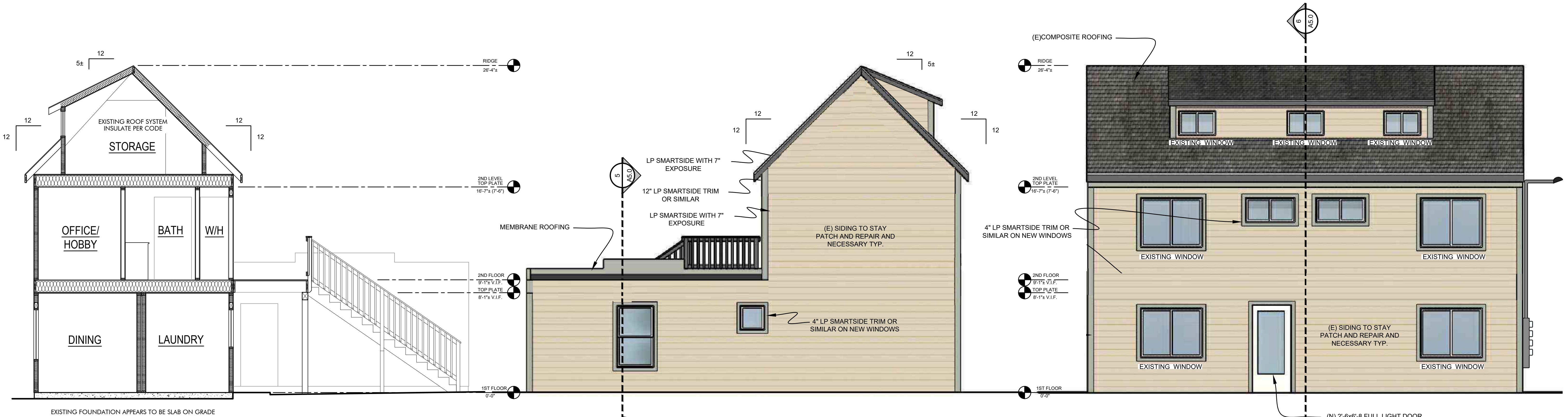
DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A4.0

7 OF 9 SHEETS

REVISIONS

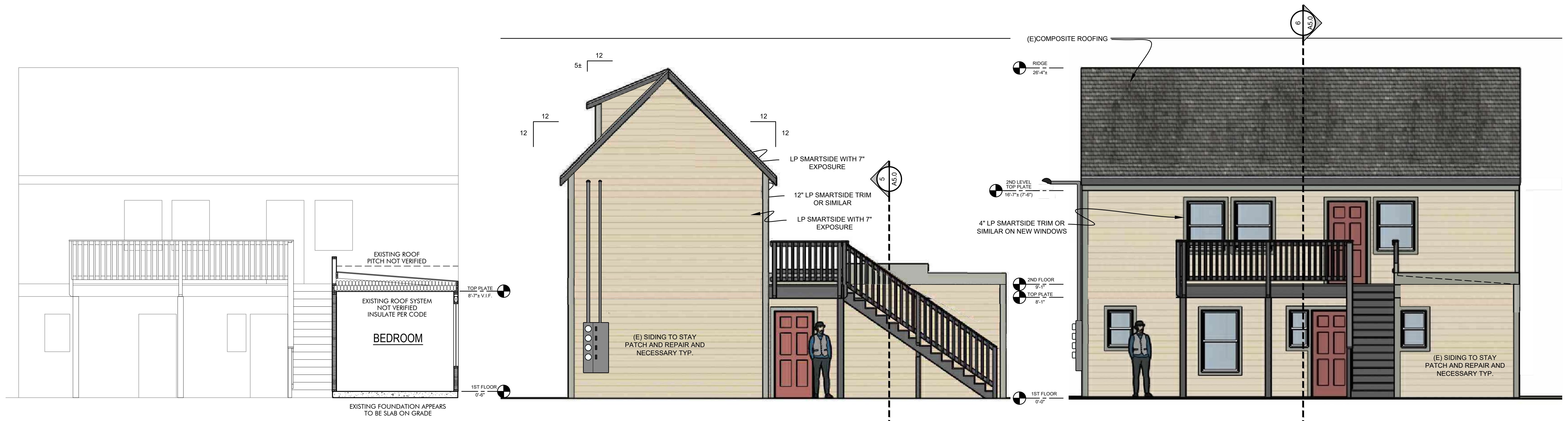
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6 Section
Scale: 1/4"=1'-0"

4 East Elevation
Scale: 1/4"=1'-0"

3 North Elevation (Rear)
Scale: 1/4"=1'-0"



5 Section
Scale: 1/4"=1'-0"

2 West Elevation
Scale: 1/4"=1'-0"

1 South Elevation (Front)
Scale: 1/4"=1'-0"

ELEVATIONS BASED ON
AS-BUILT DRAWINGS PROVIDED
BY DESIGN RESIDENTIAL LLC
AND ONSITE EXTERNAL
DIMENSIONS - VERIFY ALL
DIMENSIONS IN FIELD

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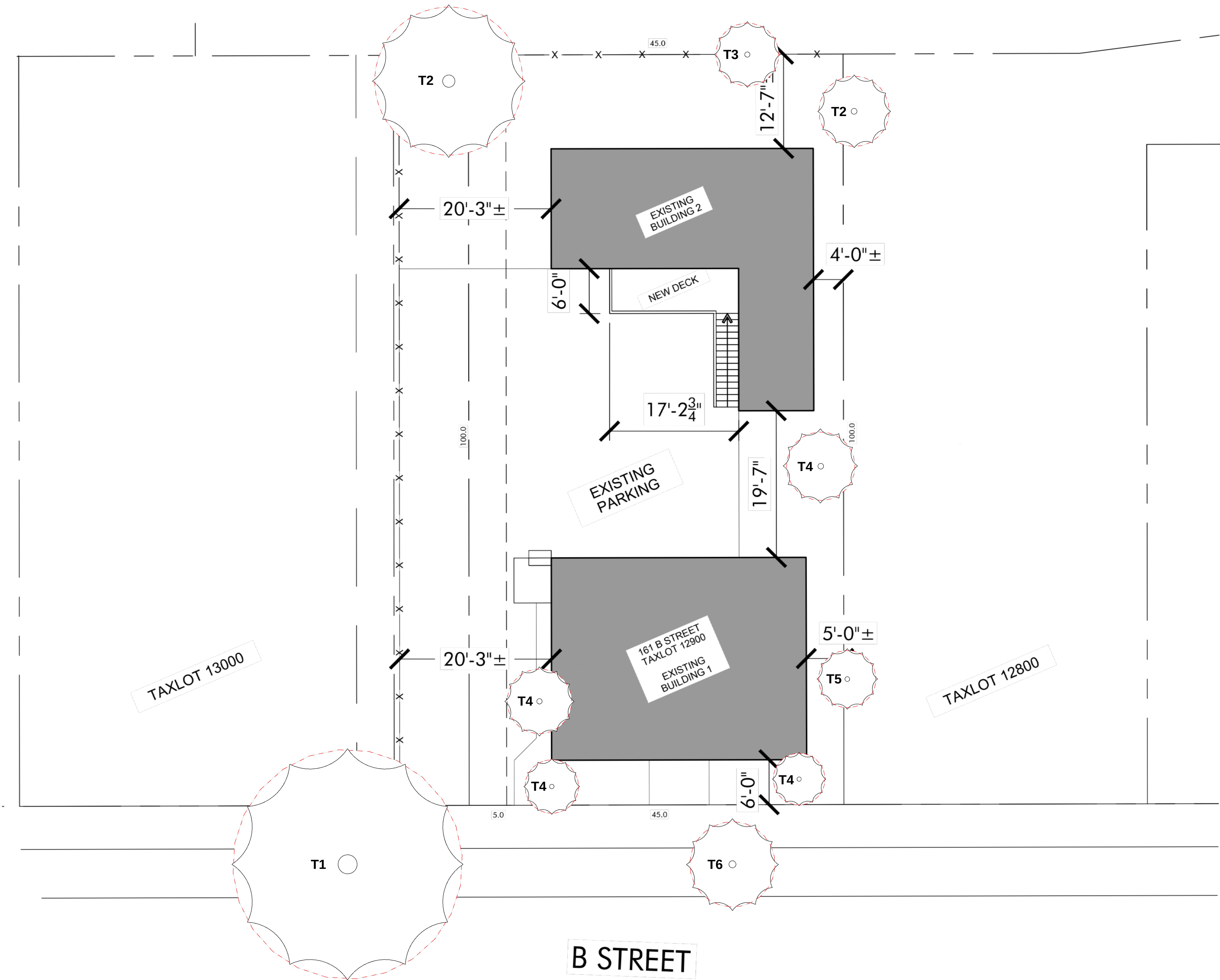
OWNER/BUILDER:
**PETE
EGGSPUEHLER**

DRAWING TITLE:
**BUILDING 2
ELEVATIONS &
SECTIONS**

DRAWN BY:
Richard Anderson | 541.301.1497
Cassandra del Nero | 541.905.5134

SHEET NO.
A5.0

8 OF 9 SHEETS



TREE PROTECTION & PRESERVATION NOTES (AMC 18.4.5 & AMC 18.61)

1. Zero Removals: No trees $\geq 6"$ DBH are proposed for removal as part of this application.

2. Protection Barrier: Existing hardscape barriers shall serve as tree protection and remain in place throughout the duration of construction.

3. Prohibited Activities: No grading, trenching, vehicle parking, equipment washing, or material staging shall occur within the designated dripline/Tree Protection Zones.

4. ROOT PROTECTION ZONE: SHOWN AS RED DASHED CIRCLE

TREE INVENTORY TABLE:

T1.	Siberian Elm (<i>Ulmus pumila</i>) 31" DBH
T2.	Boxelder Maple (<i>Acer negundo</i>) 20" DBH
T3.	Cherry Plum (<i>Prunus cerasifera</i>) 8 1/2" DBH
T4.	Hollywood juniper (<i>Juniperus chineses</i>) 9 1/2" DBH
T5.	Northern Catalpa (<i>Catalpa speciosa</i>)
T6.	American Sweetgum (<i>Liquidambar styraciflua</i>).

1 TREE PROTECTION PLAN
SCALE:1/8"=1'-0"

north

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+1 (503) 917-0267
inquiries@dezinfinehomes.com

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G	8/18/2026	PERMIT SUBMITTAL
H	8/24/2026	REV. TO TREE PROTECTION PLAN

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OWNER/BUILDER:

PETE
EGGSPUEHLER

DRAWING TITLE:

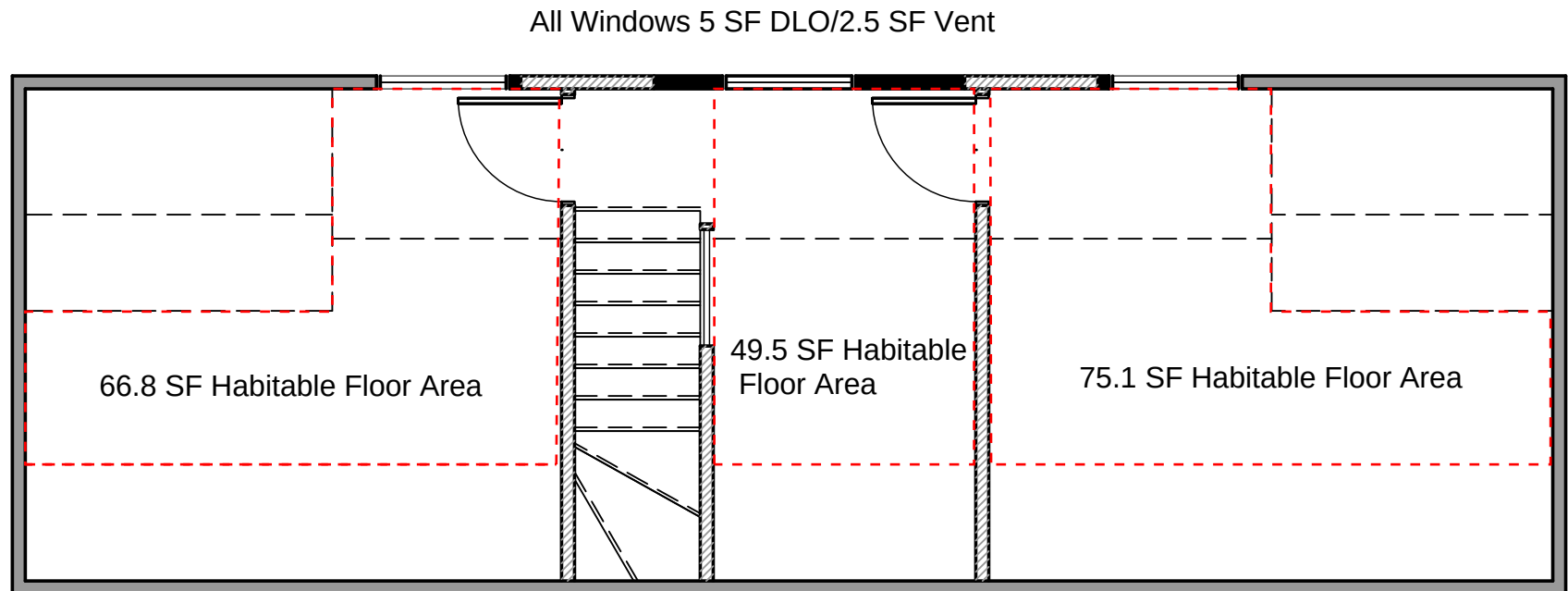
TREE
PROTECTION PLAN

DRAWN BY:
Patrick Tidd (510)331-3952

SHEET NO.
A6.0

9 OF 9 SHEETS

Per ORSC R305: Habitable space under sloped ceilings is defined by areas maintaining a minimum vertical headroom of 5 feet or greater. Bounded by the 5 ft. headroom threshold (denoted by red dashed lines).



$$66.8 + 49.5 + 75.1 = 191.4 \text{ SF Habitable Space}$$

3

3RD LEVEL AS BUILT HABITABLE SPACE PLAN

SCALE: $\frac{1}{4}" = 1'-0"$

BUILDING 1



BUILDING 2



ASHLAND HISTORIC PRESERVATION ADVISORY COMMITTEE

Review Board Comments

February 4, 2026

161 B Street/Dezin Fine Homes

The subject property is identified in the Ashland Railroad Addition Historic District survey document as the Steve H. Royle Rentals, constructed in about 1979. The property is considered to be non-historic/non-contributing. The two buildings on-site are noted for being generally compatible with the multiple-uses and dense development of the Railroad District.

HPAC Review Board had previously reviewed the proposal in December 2025 with the following comments:

- **Cassandra del Nero of Dezin Fine Homes** discussed proposed changes to 161B Street, noting the street-facing façade was proposed to be retained but that there would be substantial interior changes to both buildings. Building #1's footprint would remain unchanged, and Building #2 would add external stairs and reconfigure the interior to include upper-level loft storage space to be accessed via a ship's ladder. This loft is not proposed to be conditioned habitable space. Del Nero noted that they would replace existing double-pane aluminum slider windows with similarly-sized replacements as well as new windows selected for energy efficiency. Del Nero concluded that the building needed improvement, especially as it presented to B Street.
- **HPAC members urged that historic proportions be retained through the proposed replacement windows and lap siding, suggesting a five-inch exposure was appropriate.**

In reviewing the pre-application materials at their February 2026 meeting, **HPAC Review Board reiterated the above comments with no additional notes.** (*It was noted that the rear building has limited exposure to B Street.*)

Staff would also note that standing seam metal roofing is explicitly discouraged in the Historic District Design Standards and would require an Exception to the Site Development and Design Standards in conjunction with any Site Design Review approval. (See **AMC 18.4.2.050.C.2.i** "Asphalt or composition shingle roofs are preferred. Asphalt shingles which match the original roof material in color and texture are acceptable. Wood shake, woodshingle, tile, and metal roofs shall be avoided.") In previous instances, the Planning Commission and Council have been open to similar exceptions for the reduction in fire risk.