



HPAC Committee Minutes

February 5, 2025

4:00PM – 6:00PM

Community Development/Engineering Services Building – 51 Winburn Way

CALL TO ORDER

Scharen called the zoom meeting to order at 4:03

Commissioner's Present:	Council Liaison:
Repp	Jeff Dahle
Scharen	Planning Commission Liaison:
Brouillard	Lisa Verner - Absent
Bonetti	Staff Present:
Emery	Derek Severson; Planning Manager
Repp	Regan Trapp; Admin Support
Whitford	
Committee Members Absent:	Shostrom
	Skibby

READING OF LAND ACKNOWLEDGEMENT

Land Acknowledgement was read by Scharen.

"We acknowledge and honor the aboriginal people on whose ancestral homelands we live, – the Ikirakutsum Band of the Shasta Nation, including the original past indigenous inhabitants, as well as the diverse Native communities who make their home here today. We also recognize and acknowledge the Shasta village of K'wakhakha – "Where the Crow lights"—that is now the Ashland City Plaza."

(4:05) APPROVAL OF AGENDA (5 min)

- Committee suggested amendments to Agenda.

(4:10) APPROVAL OF MINUTES (5 min)

- Historic Committee meeting of January 8, 2025

Repp/Brouillard m/s to approve the minutes of January 8, 2025. ALL AYES. Motion passed.

(4:15) PUBLIC FORUM (15 min)

There was no one in the audience wishing to speak.

(4:30) LIAISON REPORTS (5 min)

Councilor Dahle gave a liaison report. Items discussed were:

- See Click fix is working! Please use this when there is anything you need to report in the Community.

Severson gave the staff report. Items discussed were:

- Shostrom intends to resign from the Committee.



HPAC Committee Minutes

- Scott Fleury does not feel the Community Center will be available for the HPW presentation. Pioneer Hall may be done in time, and staff will look into reservations to use this building.
- State of the City volunteer award to Tom Giordano.
- New Ordinance of the Commissions and Committees will be discussed with HPAC in March.

(4:55) DISCUSSION ITEMS (10 min)

- Review Board Assignments – March (**See attachment A**)
- **Lumina Café 27 N Main color change to red/gold**– Confirm that they are not changing the architectural details.

Burgundy color blends well with the existing palette for the block, and the bolder color benefits the varied colors of the streetscape.

The committee feels strongly that while the colors shown are fine, it is important to retain the historic architectural detail on the building face (corbels, etc.) and it may be worthwhile to consider a third color to articulate details.

B. Pre-Application review: 500 A Street

The applicant's representative, Carlos Delgado, gave a short presentation regarding the project via zoom. (**See attachment B**)

Recommendations for 500 A Street application:

- The committee's review was favorable of the application.

C. Historic Preservation Week – Week of May 11th – 17th

- o Review nominations
- o Finalize schedule of events
 - May 16th – awards ceremony at Pioneer Hall with party to follow.
 - Walking tours
 - Self-guided tour at Mountain View Cemetery
 - Map II event?
 - Something to recognize Holly Theater restoration?
- o Subcommittee/Assignments –
 - Scharen, Repp and Bonetti will work on the planning for Historic Preservation Week.
 - Severson will check on usage of Pioneer Hall for the week.
 - Trapp to investigate the finals on the all the projects on the list and see who is complete.

D. Map II Project – Status of Map II project subcommittee?

E. GIS/ Wayfinding project – Transportation Committee – Can HPAC weigh in on this project?

ADJOURNMENT

Next meeting is scheduled for March 5, 2025, at 5:06pm via Zoom.

There being no other items to discuss, the meeting adjourned at pm

Respectfully submitted by Regan Trapp



March 2025

HPAC Review Board

Meet at 3:00pm - Lithia Room

Every other week

****Staff to email if there is anything to review on the off weeks****

<u>DATE</u>	<u>COMMITTEE MEMBERS ATTENDING</u>		
March 6th	Whitford	Repp	Brouillard
March 20th	Emery	Bonetti	Scharen(?)



City of Ashland Planning Division

51 Winburn Way • Ashland, OR 97520

Phone (541) 488-5305 • Fax (541) 488-6066

Email: Planning@ashlandoregon.gov

DESCRIPTION OF PROJECT

Project Description _____

SITE IMPROVEMENTS, INCLUDING AT-GRADE COURTYARD PAVING, PLANTING AND IRRIGATION, FENCES AND GATES, AND LOW WALLS. MODIFICATION OF SIDEWALKS TO IMPROVE TREE GROWTH IS ALSO PROPOSED. PROPOSED EXTERIOR RENOVATION TO THE COMMERCIAL BUILDING, REPLACEMENT OF DOOR AND VESTIBULE AT 'A' STREET WITH WINDOW AND WALLS, EXTERIOR STAIR MODIFICATION, ADDITION OF COVERED BACK ENTRY AND ARBOR, AND CONSTRUCTION OF A ROOF DECK WITH PERGOLA.

APPLICANT

Name PIPER VON CHAMIER,
TERRAIN LANDSCAPE ARCHITECTURE Phone (541) 500-4776 E-Mail PIPER@TERRAINARCH.COM

Address 310 OAK ST, SUITE 3 City ASHLAND Zip 97520

PROPERTY OWNER

Name KAPLAN TRUST, JULIE AND JORY ET AL Day Time Phone _____

Address 452 STRAWBERRY LN City ASHLAND Zip 97520

DESCRIPTION OF PROPERTY

Street Address 500 'A' STREET Assessor's Map No. 39 1E 09AB Tax Lot(s) 5500

SUBMITTAL REQUIREMENTS

To request a pre-application conference, **submit this form with true scale PDF drawings to Planning@ashlandoregon.gov.** The application will need to include plans addressing the application submission requirements including site and landscaping plans drawn to a standard scale and formatted to print to scale on paper no larger than 11-inches by 17-inches.

1. **Completed Application.**
2. **Narrative** – Provide a written description of proposal and request. (If in Historic District, provide pictures of existing structures, elevations of proposed structures and details of planned exterior design features and materials)
3. **Site Plan** – The site plan should contain all applicable elements in the Site Plan Checklist (see page 2) plus any other information pertinent to this proposal. The site plan will be checked to insure all applicable information is included at the time the pre-application date is set.
4. **Additional information** - Provide in the narrative or with the site plan:
 - 1) Number of acres in development
 - 2) Total gross square footage of all structures
 - 3) Number of stories on each structure
 - 4) Indicate number of and square footage of:
 - a) Dwelling Units (include the units by the number of bedrooms in each unit – e.g. 10 1-bedroom, 25 2-bedroom, etc)
 - b) Office Spaces
 - c) Retail Units
 - d) Other Spaces



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5) Percentage of lot coverage by:

- | | |
|----------------------------|--|
| a) Structures | e) Landscaping |
| b) Streets & Roads | f) Number of parking spaces |
| c) Parking Areas/Driveways | g) Total square footage of landscaped areas. |
| d) Recreation Areas | h) Other pertinent information of the proposed development |

5. **LEED® Certification** – Indicate whether project will be pursuing LEED® certification.

6. **Submittal Fee - \$200.00**

PRE-APPLICATION SITE PLAN CHECKLIST

		YES	NO	N/A
1.	Project Name	X		
2.	Owner Name	X		
3.	Site Address and Map & Taxlot Number	X		
4.	Vicinity Map - with street names and locations of all existing and proposed streets within or on the boundary of the proposed development			
5.	Scale & North Arrow	X		
6.	Lot Layout with approximate dimensions for all lot lines	X		
7.	Zoning Designations in proposed development and surrounding properties	X		
8.	Location & Use of all proposed and existing building, fences and structures	X		
9.	Indicate which buildings are to remain and which are to be removed	X		
10.	Location of all landscaped areas. Indicate existing trees, size, species, and approximate drip line (outer branch location). Identify trees to be removed.	X		
11.	Location and size of all public utilities in and adjacent to the proposed development including water line and meter size, sewer lines, storm drain lines, nearest fire hydrant.	X		
12.	Locations of drainage ways or public utility easements in and adjacent to proposed development.	X		
13.	Location, size and use of all contemplated and existing public areas	X		
14.	Approximate topography (slope) of the site	X		
15.	Location of all parking areas and individual and handicap parking spaces, ingress and egress on the site and on-site circulation	X		
16.	Use designation for the areas not covered by buildings (e.g. loading, storage, vacant, open space, etc.)	X		
17.	Elevations of the building(s)	X		
18.	Construction materials – wood frame, masonry, etc. (If project is in a Historic District provide pictures of existing structures and indicate proposed exterior materials for siding, windows, trim and roofing)	X		



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PRE-APPLICATION BUILDING INFORMATION

Please attempt to indicate the following (Note: if information is not known please leave blank)

1. Current Building Occupancy Type (select one):

Assembly = More than 50 occupants

Theaters, Restaurants, Nightclubs, Taverns and Bars, Community Halls, Art Galleries, Places of Worship, Arenas, Bleacher's, etc.

Business = Less than 50 occupants

Professional Service Office, Barber and Beauty Salons, Training and Skill Development not within a school or academic program, Bank, Print Shop, etc.

Educational

Schools K-12th Grade, Religious Educational Rooms and Auditoriums, Day Care Facilities

Factory

(F- Occupancy's include, among others, the use of a building or structure or portion thereof, for assembling, disassembling, fabricating, finishing, manufacturing, packaging, repair or processing operations that are not classified as Group H-Hazardous or Group S-Storage Occupancy's

High Hazard

H-Occupancy's includes, among others, the use of a structure, or a portion thereof, that involves the manufacturing, processing, generation or storage of materials that constitute a physical or health hazard in quantities allowed in control areas complying with section 414 of the Oregon Structural Specialty Code.

Institutional

I-Occupancy's includes, among others, the use of a building or structure or a portion thereof for more than 16 persons, excluding staff, who reside on a 24 hr. basis in a supervised environment and receive custodial care. Detoxification Facilities, Hospitals, Medical Care, Nursing Homes, Congregate Living Facilities, Social Rehabilitation Facilities, Assisted Living Facilities, Alcohol and Drug Centers, Correction Centers, Jails, Reformatories, Adult and Child Day Care Facilities.

Mercantile

Department Stores, Drug Stores, Markets, Motor Fuel-Dispensing Facilities, Retail or Wholesale Stores, Sales Rooms.

Residential

Single Family Residence, Hotels, Motels, Apartment Houses, Vacation Time Shares, Congregate Living Facilities (more than 16 occupants), Assisted Living Facilities (with or without a Memory Care Endorsement), Residential Treatment Facilities, etc.

2. Is a Change of Occupancy being requested? If yes, please indicate the proposed Occupancy Type:

Assembly

NO CHANGE

High Hazard

Business

Institutional

Educational

Mercantile

Factory

Residential

3. If Residential please indicate which type (select one):

R-1 Occupancy

Hotels (transient), Motels (transient), Boarding Houses (transient) with more than 10 occupants.

R-2 Occupancy

Apartment Houses, Congregate Living Facilities (non-transient) with more than 16 occupants, Dormitories, Hotels (non-transient), Motels (non-transient), Vacation Time Share Properties, Boarding Houses (non-transient) with more than 16 occupants, etc.



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R-3 Occupancy

Detached One and Two Family Dwellings and Townhouses, Adult Care Facilities (six or fewer persons of any age less than 24 hrs.), Adult Foster Homes as defined in ORS Chapter 443, or Family Child Care Homes located in a private residence as defined in the Oregon Structural Specialty Code section 310.2. Buildings that do not contain more than two dwelling units, Boarding Houses (non-transient), Child Care Facilities that provide accommodations for six or fewer persons of any age for less than 24 hrs., Congregate Living Facilities (non-transient) with 16 or fewer occupants, Lodging Houses, etc.)

R-4 Occupancy

This occupancy shall include buildings, structures or portions thereof for more than five but not more than 16 persons, excluding staff, who reside on a 24-hr. basis in a supervised residential environment and receive custodial care, Congregate Living Facilities, Halfway Houses, Social Rehabilitation Facilities, Alcohol and Drug Centers Assisted Living Facilities (with or without a Memory Care Endorsement), Residential Care Facilities (with or without a Memory Care Endorsement), Residential Treatment Facilities, Group Homes and Facilities, etc.)

4. **Type of Building Construction:**

Types I and II construction are those types of construction in which the building elements listed in Table 601 of the Oregon Structural Specialty Code are of noncombustible materials. Type III construction is that type of construction in which the exterior walls are of noncombustible materials and the interior building elements are of any material permitted by the Oregon Structural Specialty Code. Type IV Construction (Heavy Timber) is that type of Construction in which the exterior walls are of noncombustible materials and the interior building elements are of solid or laminated wood without concealed spaces. Type V Construction is that type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by the Oregon Structural Specialty Code.

Type I
Type II
Type III

Type IV
Type V

5. **Is the building equipped or proposed to be equipped with a Fire Protection System? (e.g., Fire Sprinklers or Fire Alarms)**

Yes

No

Any questions regarding the pre-application conference or the formal land use application submittal can be directed to the Ashland Planning Division at (541) 488-5305. The City of Ashland Land Use Code can be found online at <https://ashland.municipal.codes/LandUse> and selecting the desired section.

200 Clear Crk #C • Ashland OR 97520
541.552.9502
info@CarlosDelgadoArchitect.com

COMMERCIAL RENOVATION

JULIE & JORY KAPLAN
500 'A' STREET
ASHLAND OR 97520

ASSESSOR'S MAP NO. 391E 09AB TAX LOT NO. 5500

A1.1



PRELIMINARY

PRELIMINARY



Carlos Delgado
ARCHITECT

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PRELIMINARY

DESCRIPTION	DATE

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JULIE & JORY KAPLAN
500 'A' STREET
ASHLAND OR 97520
ASSESSOR'S MAP NO. 391E 09AB TAX LOT NO. 5500

PRELIMINARY

NOT FOR CONSTRUCTION

DRAWN : TS
CHECKED : CD

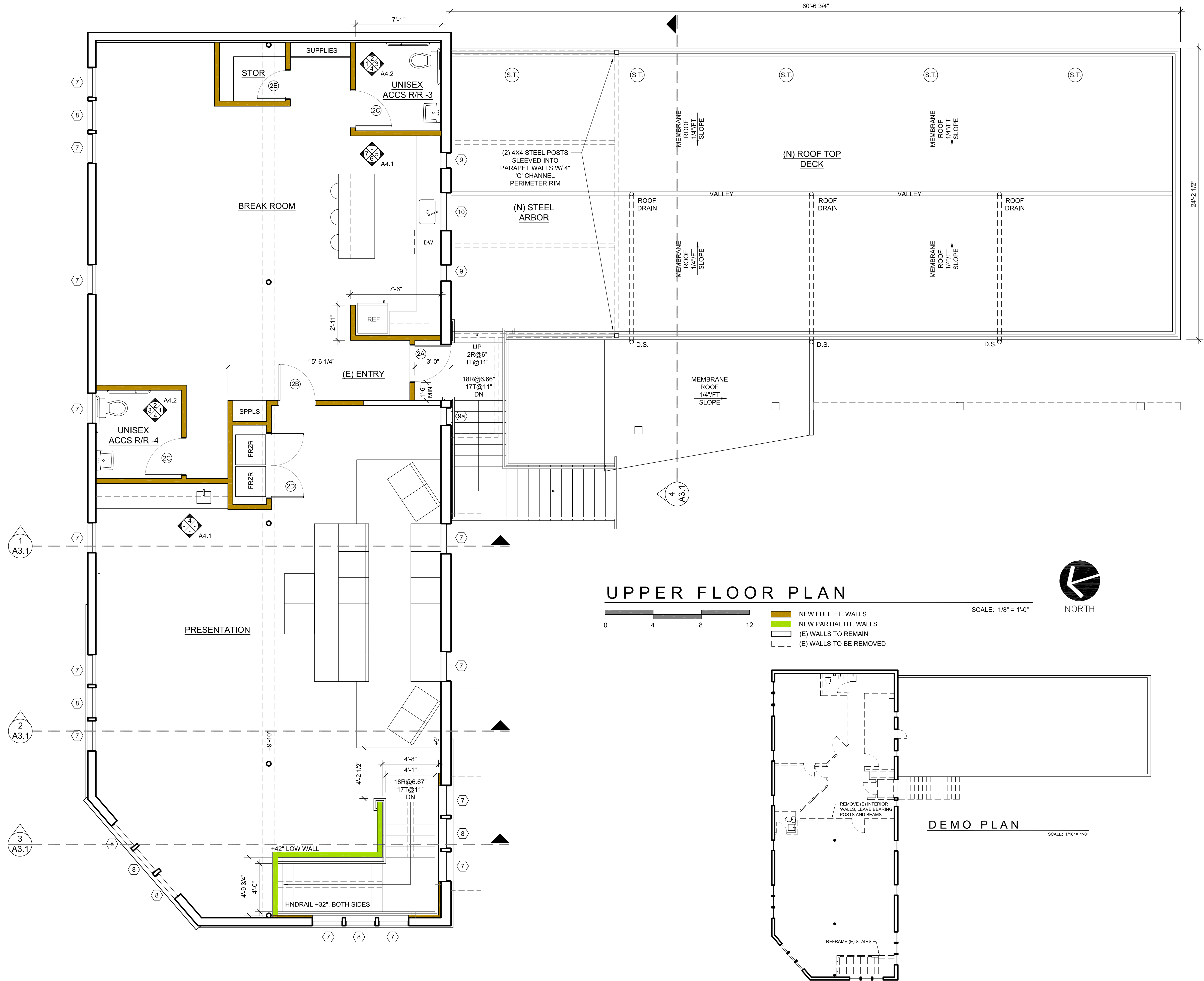
DATE :
12/10/24

PROJECT :
KAPLAN_24

SHEET :

A1.2

11X17 SHEETS ARE HALF SCALE





Carlos Delgado
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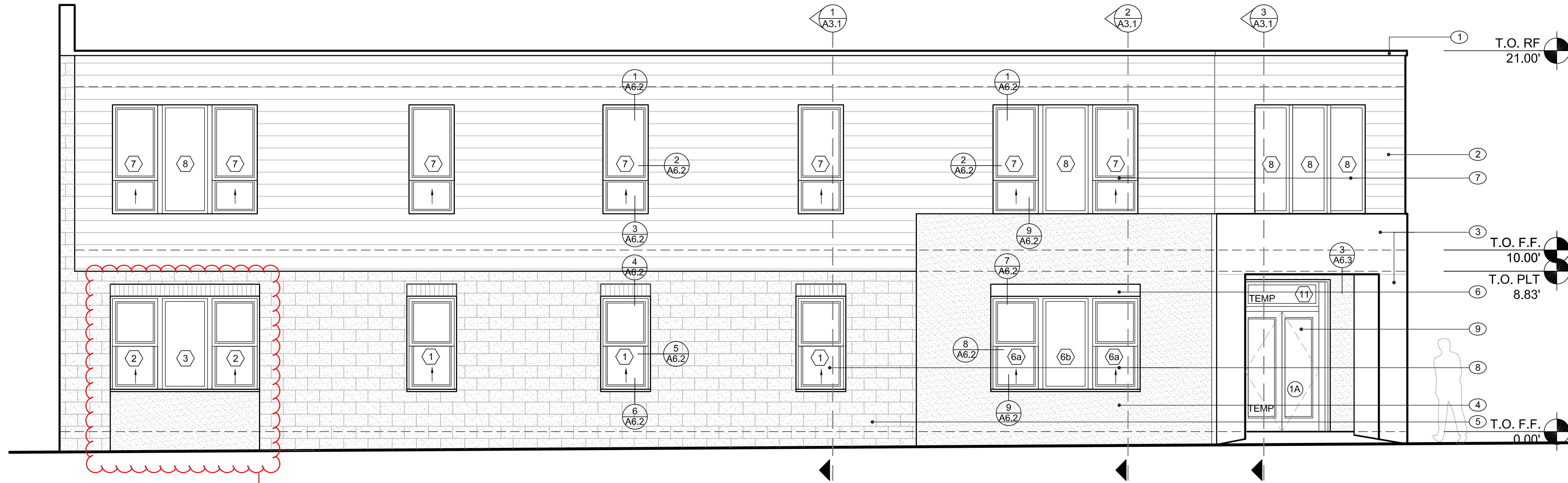
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DESCRIPTION	

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SHEET :
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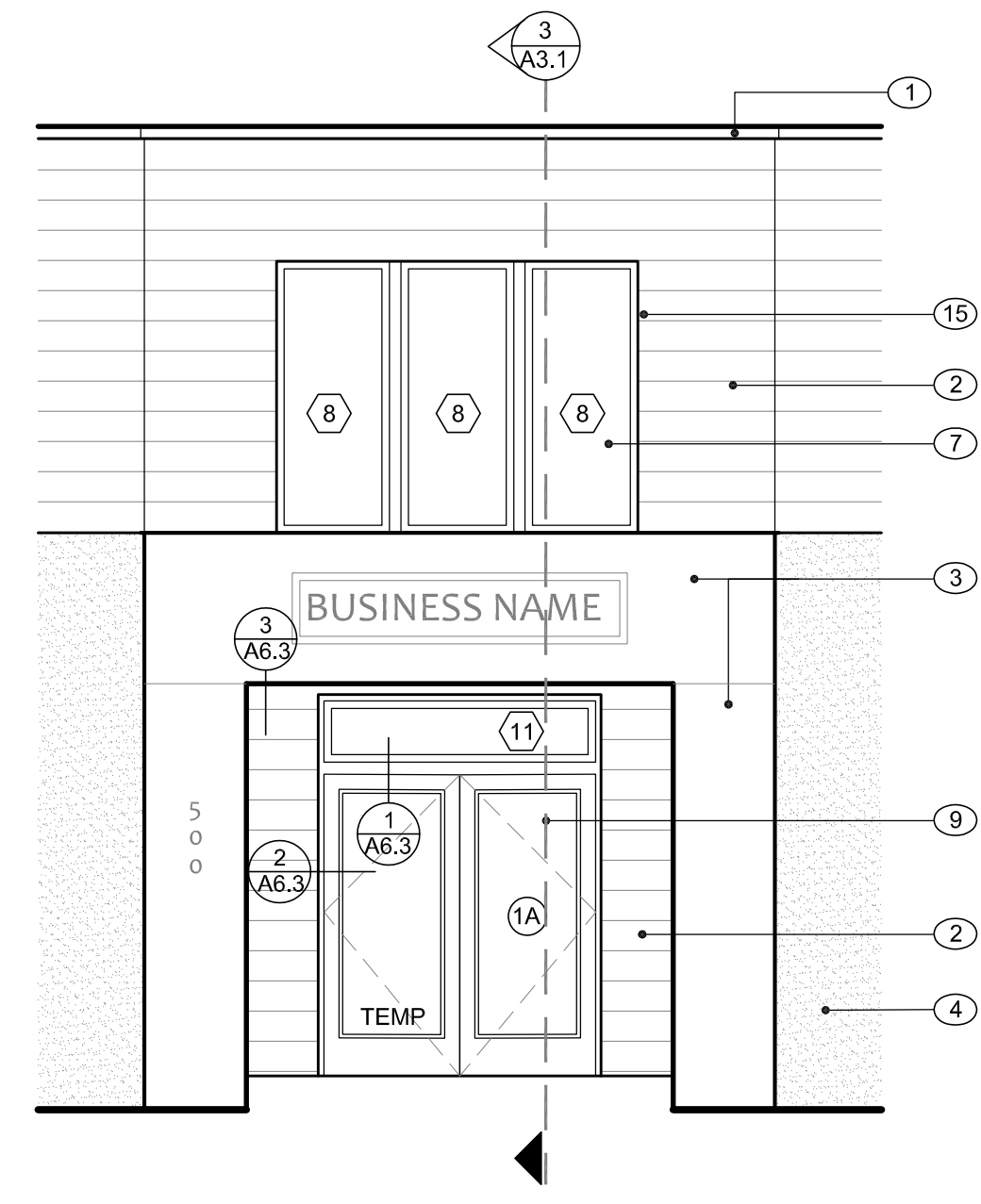
11X17 SHEETS ARE HALF SCALE



NORTH ELEVATION

VIEW FROM 'A' STREET

SCALE: 1/4" = 1'-0"



N/W ELEVATION

CORNER VIEW FROM 'A' & '4TH'

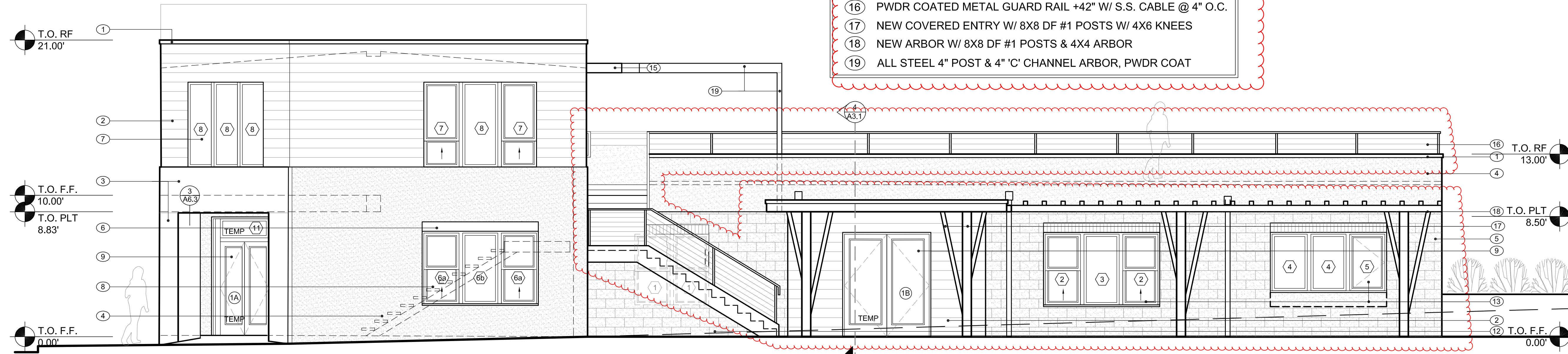
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 NEW PARAPET FLASHING, ONE TONE DARKER THAN SIDING
- 2 NEW 1X6 CEDAR SHIP LAP SIDING, W/ WHITE WASH STAIN
- 3 NEW STORE FRONT SMOOTH FINISH STUCCO PLINTH
- 4 NEW BUILT OUT TEXTURED STUCCO CORNER, (3) SIDES
- 5 EXISTING SPLIT FACE BLOCK, PAINTED WHITE
- 6 NEW SMOOTH FINISH STUCCO LINTEL
- 7 REPLACEMENT VINYL WINDOWS, 12" TALLER, BLACK EXT.
- 8 REPLACEMENT VINYL WINDOWS, BLACK EXT.
- 9 NEW WOOD CLAD FRENCH DOOR, W/ TRNSM, BLACK EXT.
- 10 EXISTING DOOR TO REMAIN AS IS
- 11 RELOCATED ELECT PANEL
- 12 NEW POURED CONC. STAIR W/ HAND RAIL @ +32" / MTCH #16
- 13 REPLACEMENT VINYL WINDOWS, BLCK, PATCH W/ STUCCO
- 14 EXISTING PROP. LINE SPLIT FACE BLOCK. TO REMAIN AS IS
- 15 8"DP X 30"WIDTH BOLT ON ALUM. LOUVERED AWNING
- 16 PWDR COATED METAL GUARD RAIL +42" W/ S.S. CABLE @ 4" O.C.
- 17 NEW COVERED ENTRY W/ 8X8 DF #1 POSTS W/ 4X6 KNEES
- 18 NEW ARBOR W/ 8X8 DF #1 POSTS & 4X4 ARBOR
- 19 ALL STEEL 4" POST & 4" 'C' CHANNEL ARBOR, PWDR COAT

PROPOSED FACADE CHANGE:
REPLACE EXISTING DOORS
WITH NEW WINDOWS - ALL
NEW WALLS/WINDOWS ON
NORTH ELEVATION
PREVIOUSLY APPROVED
UNDER BUILDING PERMIT
BD-NR-2024-00309

PROPOSED EXTERIOR
STAIRWAY, AWNINGS,
ARBOR, AND GUARDRAIL: -
ALL NEW WALLS/WINDOWS,
DOORS ON WEST ELEVATION
PREVIOUSLY APPROVED
UNDER BUILDING PERMIT
BD-NR-2024-00309



WEST ELEVATION

VIEW FROM '4TH' STREET

SCALE: 1/4" = 1'-0"



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DESCRIPTION	DATE

COMMERCIAL RENOVATION
JULIE & JORY KAPLAN
500 A STREET
ASHLAND OR 97520
ASSESSOR'S MAP NO. 391E 09AB TAX LOT NO. 5500

NOT FOR CONSTRUCTION

DRAWN : CHECKED:
TS CD

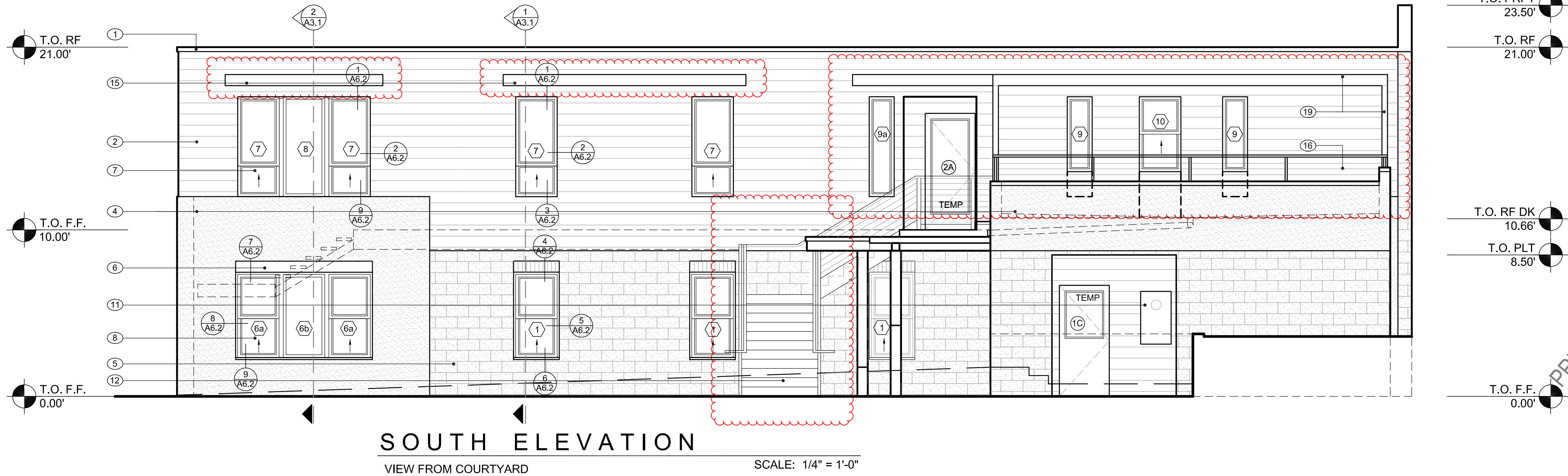
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PROJECT :
KAPLAN_24

SHEET :

A2.2

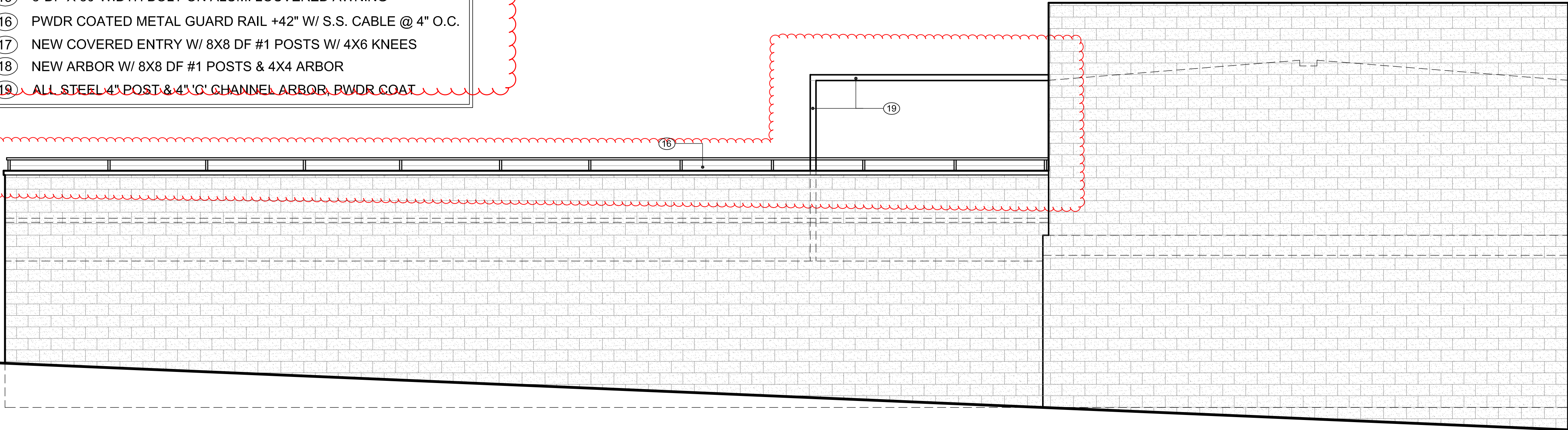
11X17 SHEETS ARE HALF SCALE



ELEVATION KEY NOTES

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- NEW ARBOR W/ 8X8 DF #1 POSTS & 4X4 ARBOR
- ALL STEEL 4" POST & 4" C CHANNEL ARBOR, PWDR COAT

PROPOSED EXTERIOR STAIRWAY,
AWNINGS, ARBOR, AND GUARDRAIL:
- ALL NEW WALLS/WINDOWS,
DOORS ON SOUTH ELEVATION
PREVIOUSLY APPROVED UNDER
BUILDING PERMIT BD-NR-2024-00309





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PRELIMINARY

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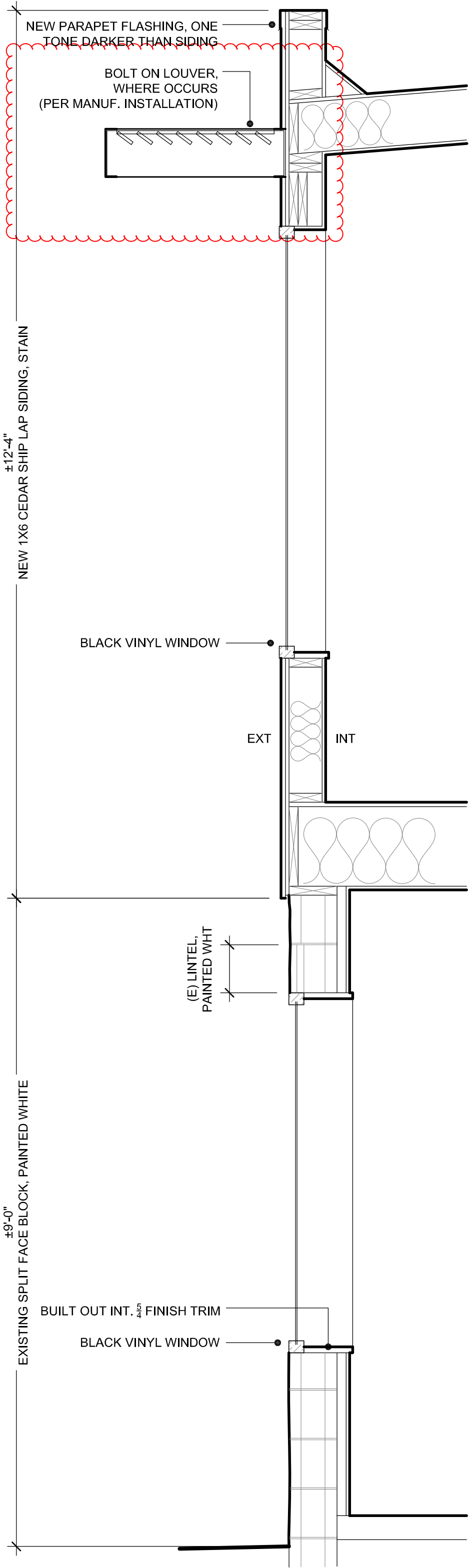
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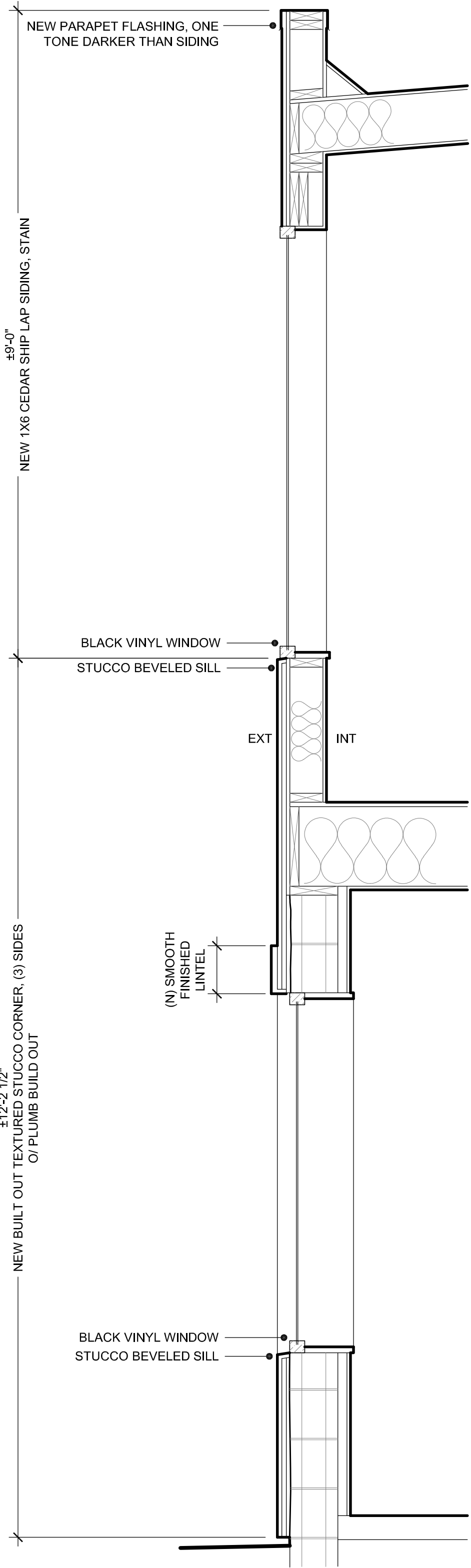
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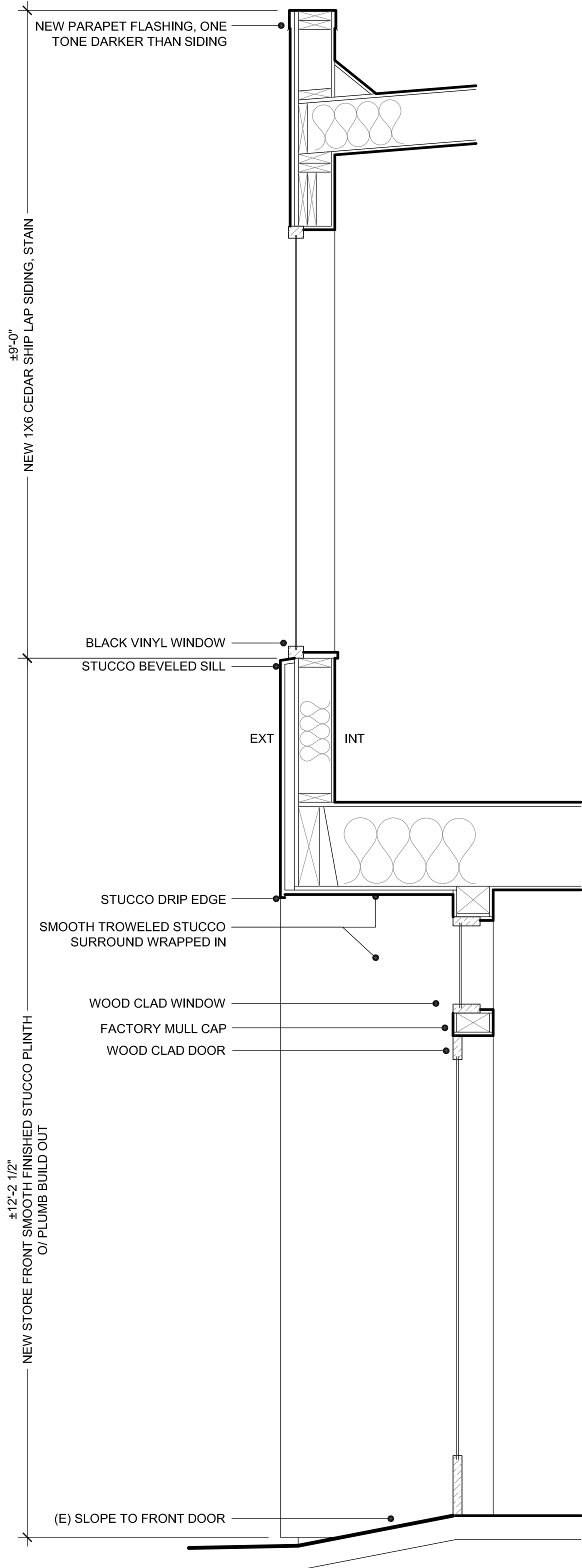
① BUILDING SECTION

SCALE: 3/4" = 1' - 0"



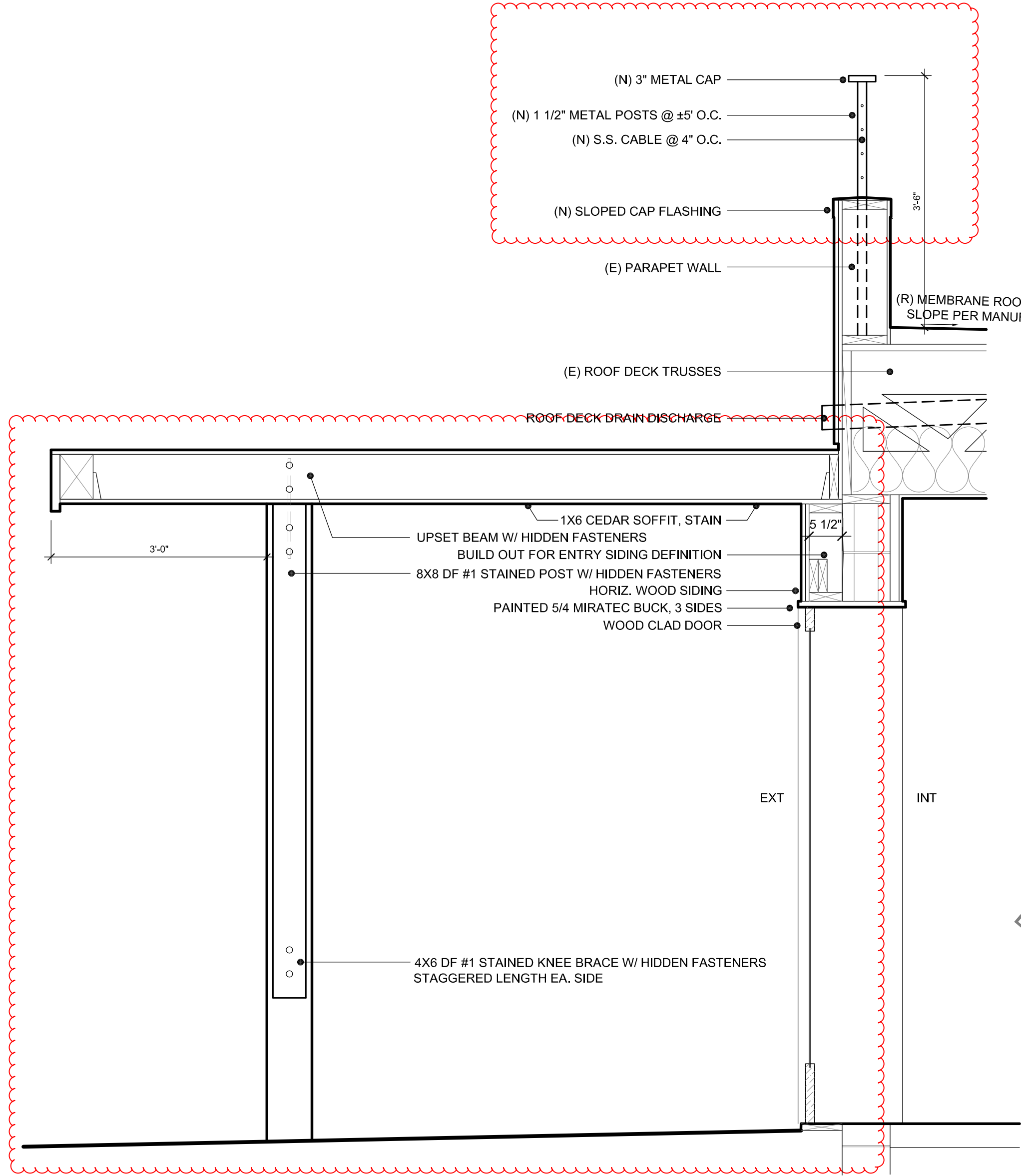
② BUILDING SECTION

SCALE: 3/4" = 1' - 0"



③ BUILDING SECTION

SCALE: 3/4" = 1' - 0"



④ BUILDING SECTION

SCALE: 3/4" = 1' - 0"



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APPLICATION MAP

274 FOURTH STREET
ASHLAND, OREGON 97520

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- EDGE PAVEMENT
- WATER LINE
- GAS LINE
- WATER METER
- GAS METER
- ELECTRIC JUNCTION BOX
- ELECTRIC METER
- OVERHEAD UTILITY (ELECTRIC, FIBER OPTIC, TELEPHONE)
- UNDERGROUND ELECTRIC
- OVERHEAD INTER NET CABLE
- POWER POLE
- DECIDUOUS TREE AS INDICATED
- SCALED LIMB TO APPROXIMATE DRIP LINE
- PARKING EASEMENT

AREA SUMMARY

PARCEL: 7,032±SQFT
BUILDING: 3,630±SQFT

LAND SURVEYOR: FRED A. FRANTZ, PLS
TERRASURVEY, INC.
274 FOURTH STREET
ASHLAND, OREGON 97520
(541) 482-6474

SITE: 274 FOURTH STREET
ASHLAND, OREGON
MAP NO. 39-1E-09AB
TAX LOT NO. 5500

ZONING: E-1

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 16, 2005
FRED A. FRANTZ
No. 50077

Renewal 12-31-23

DATE: 11-07-21
SCALE: 1"= 10'
CONTOUR INTERVAL IS 1 FOOT

0 10 20 30

TERRASURVEY, INC.
PROFESSIONAL LAND SURVEYORS
274 FOURTH STREET
ASHLAND, OREGON 97520
(541) 482-6474
terram@bisp.net
JOB NO. 1170-18

SITE PLAN

1" = 10'-0"

PRELIMINARY

PRELIMINARY

COMMERCIAL RENOVATION

JULIE & JORY KAPLAN
500 A STREET
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ASSESSOR'S MAP NO. 391E 09AB TAX LOT NO. 5500

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DRAWN : TS
CHECKED: CD

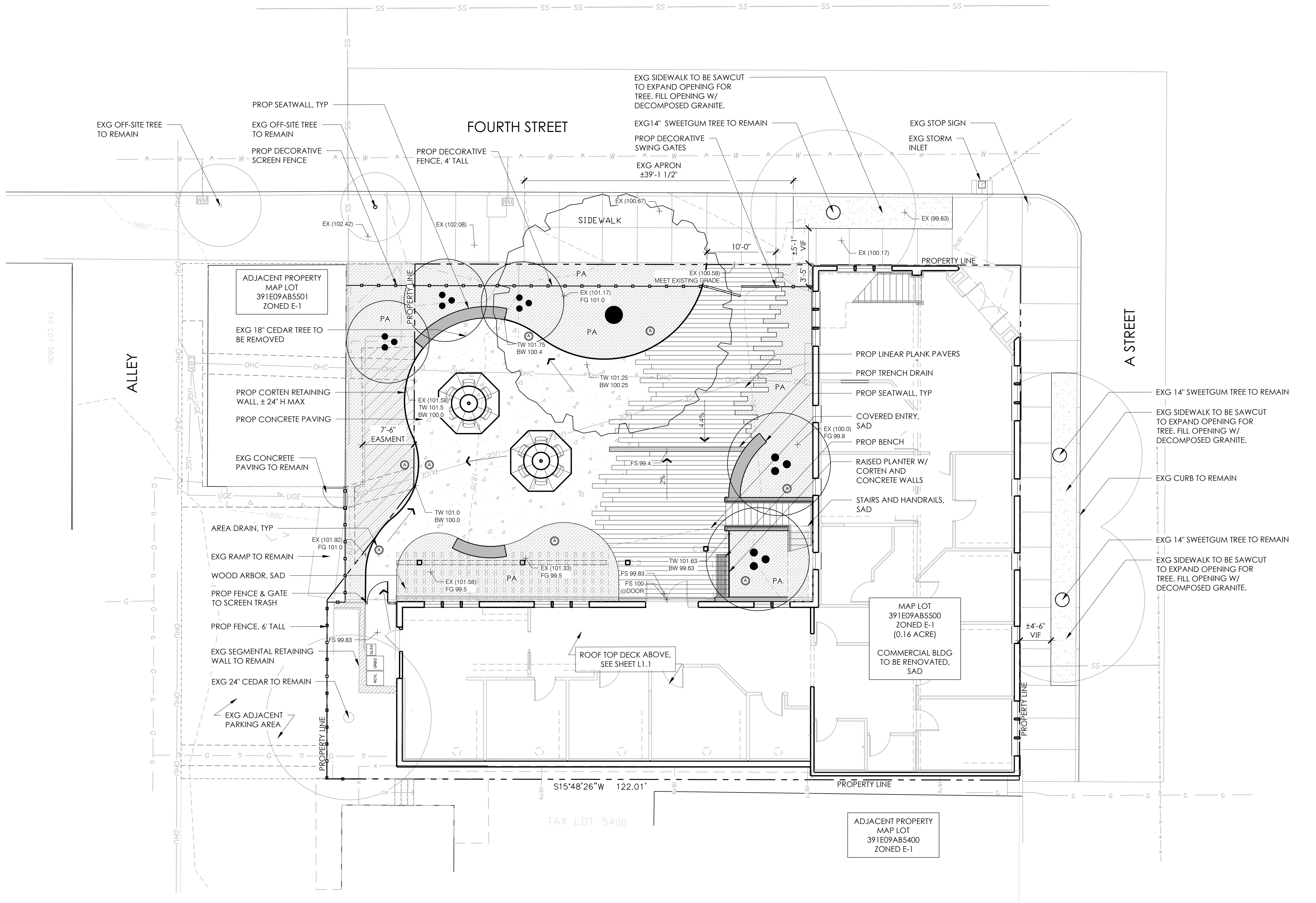
DATE :
12/10/24

PROJECT :
KAPLAN_24

SHEET :

AS1.0

11X17 SHEETS ARE HALF SCALE



LANDSCAPE NARRATIVE

Site improvements are planned for the property in conjunction with an exterior renovation of the existing commercial building. An existing paved parking area that currently slopes toward the building will be removed and the grades adjusted to improve the drainage on site. The new courtyard space is proposed to be screened from Fourth Street by decorative fences and gates, and paved with unit pavers and concrete. Low, corten steel planter walls and edging will outline the planting areas. Seatwalls and benches will provide seating opportunities at the edges of the new planting.

At the existing sidewalks, removal of concrete is proposed. Concrete will be replaced with decomposed granite to increase the available growing space and health of the existing street trees.

As part of the building renovations, a roof top deck space will be developed. A metal pergola is proposed to provide some protection from the elements, and faux planting is proposed for visual screening.

PROJECT DATA	
ADDRESS	500 'A' STREET
ASSESSORS MAP NO. / TAXLOT(S)	39 1E 09AB / 5500
ACREAGE	0.16 Acre
ZONING	E-1 (EMPLOYMENT DISTRICT) RESIDENTIAL OVERLAY
PARKING SPACES	ON-STREET ONLY
CONSTRUCTION TYPE	TYPE VB CONSTRUCTION, NO AUTOMATIC SPRINKLERS
BUILDING OCCUPANCY	BUSINESS
LOT COVERAGE	N/A
LANDSCAPE AREA (15% MIN)	21% (1,500 SQ FT)

PROJECT DIRECTORY

PROPERTY OWNER

Kaplan Trust, Julie et al
452 Strawberry Lane
Ashland, OR 97520
530.510.0383

LANDSCAPE ARCHITECT / APPLICANT

Terrain Landscape Architecture
Piper von Chamier, RLA
310 Oak St. Suite 3
Ashland, OR 97520
541.500.4776
piper@terrainarch.com

ARCHITECT

Carlos Delgado Architect
Carlos Delgado
200 Clear Creek, #C
Ashland, OR 97520
541.552.9502
carlos@carlosdelgadoarchitect.com

SURVEYOR

Terrasurvey, Inc
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LANDSCAPE CONTRACTOR

TBD

DISAPPEARING ACT SITE IMPROVEMENTS

500 'A' STREET
ASHLAND, OR 97520

DRAFT

REVISIONS
DATE DESCRIPTION

-
-
-
-

PRE-APP

LANDSCAPE
SITE PLAN

L1.0

PROJECT NO. 2431
12/05/2024
TEAM: Pvc, EG



DISAPPEARING ACT SITE IMPROVEMENTS
500 'A' STREET
ASHLAND, OR 97520

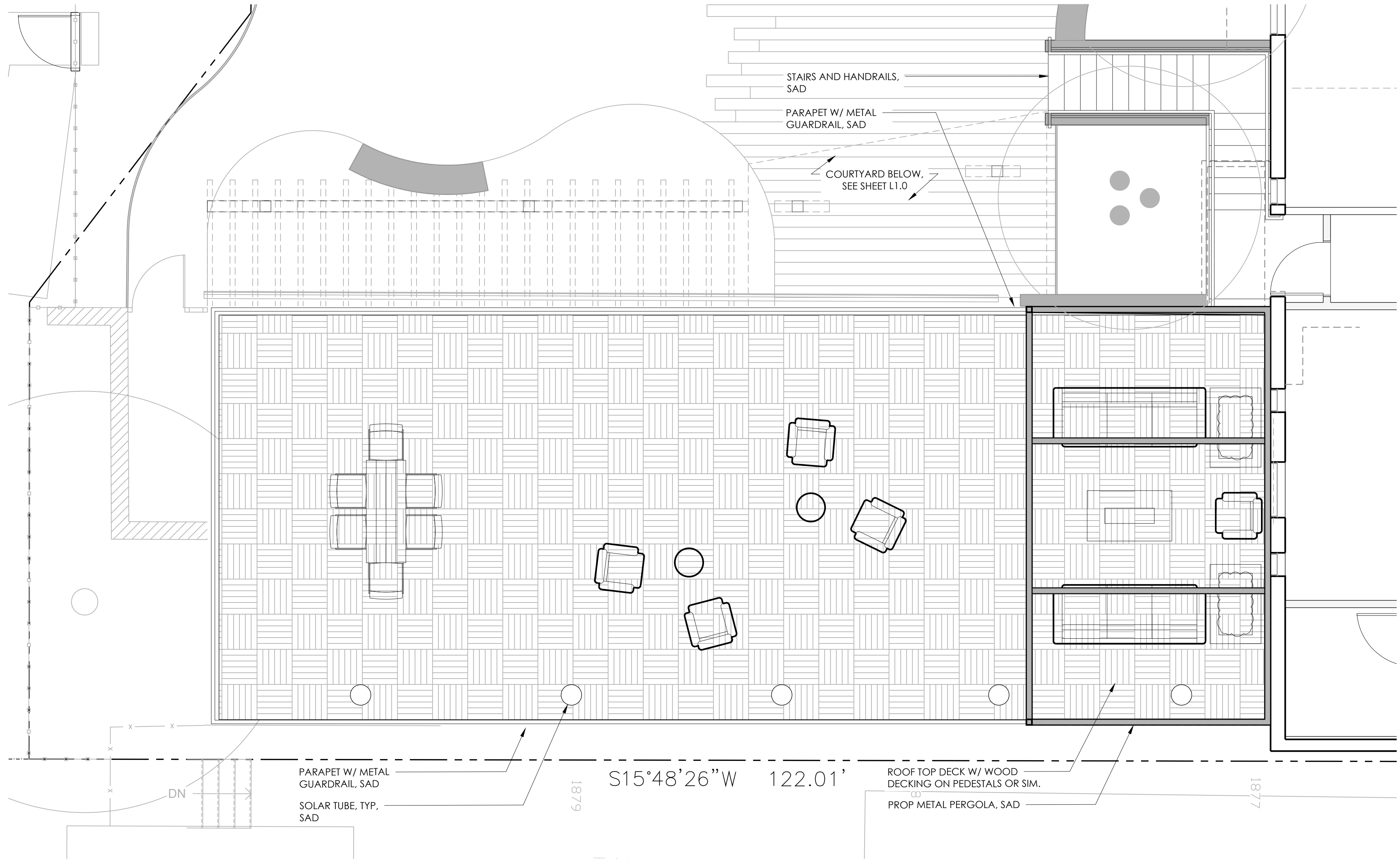
DRAFT

REVISIONS		
#	DATE	DESCRIPTION

PRE-APP

ROOF TOP DECK
SITE PLAN

L1.1
PROJECT NO. 2431
12/05/2024
TEAM: P+V, EG



Commercial Renovation
500 A Street
Ashland ,OR 97520

APPENDIX 1 – IMAGES of PROPOSED EXTERIOR RENOVATION



IMAGE 1 - CORNER of FOURTH and A STREET ELEVATION – existing



IMAGE 2 - PROPOSED CORNER ELEVATION



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500 A Street
Ashland ,OR 97520

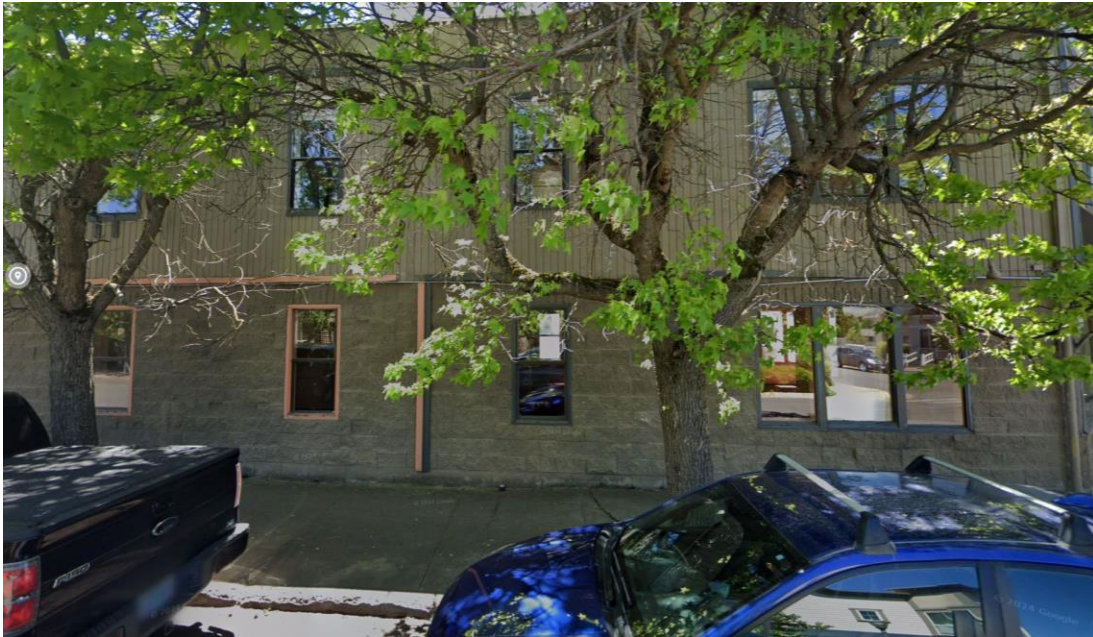


IMAGE 3 - A STREET ELEVATION – existing structure



IMAGE 4 - PROPOSED A STREET ELEVATION



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IMAGE 5 - EXISTING 4th STREET ELEVATION



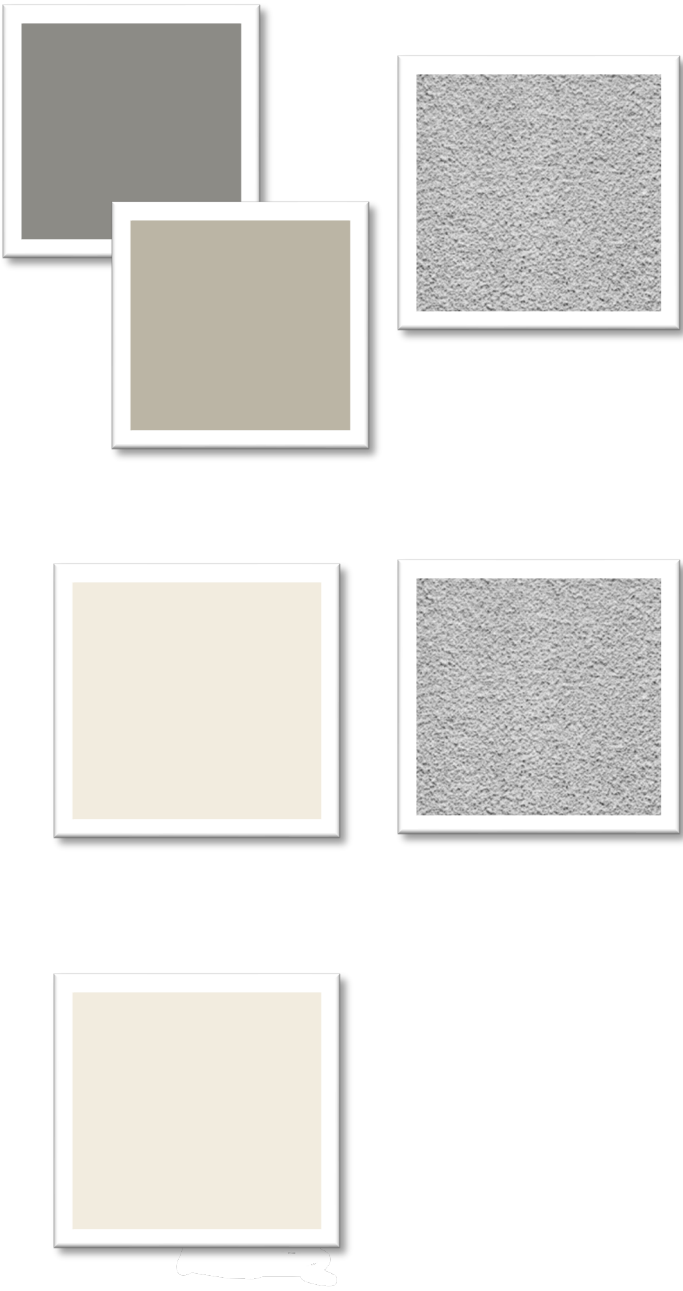
IMAGE 6 - PROPOSED 4th STREET ELEVATION



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APPENDIX 2 – MATERIAL and COLOR SUBMITTAL

EXTERIOR FINISHES	
(N) SIDING	STUCCO
NEW Manufacturer: TBD Series/Model #: Heavy Dash Texture	
Option #1 Finish/Color: Sherman Williams Classic French Gray – SW0077	
Option #2 Finish/Color: Sherman Williams Silver Gray – SW0049	
NOTES: General stucco overlay G.C. to provide 2'x2' sample of each texture for approval by architect	
(N) SIDING	STUCCO
NEW Manufacturer: TBD Series/Model #: Medium Texture Finish/Color: Sherman Williams Classic Light Buff – SW0050	
NOTES: Overlay at corner entry G.C. to provide 2'x2' sample of each texture for approval by architect	
(E) SIDING	Existing Masonry (to be painted)
Manufacturer: Sherman Williams Series/Model #: Classic Light Buff – SW0050 Finish/Color:	
NOTES: G.C. to provide sample for approval by architect	



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EXTERIOR FINISHES

(N) SIDING HORIZONTAL WOOD

NEW

Manufacturer: Nakamoto Forestry
Series/Model #: Pika-Pika
Finish/Color: Alkyd Oil White
 Select Grade

NOTES: G.C. to provide 2'x2' sample
 for approval by architect



EXTERIOR DOOR & WINDOW FINISH

NEW

Manufacturer: Milgard
Series/Model #: Vinyl
Finish/Color: Black

NOTES: G.C. to provide sample
 for approval by architect



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